



# Board of Adjustment Staff Report

Meeting Date: August 2, 2018

Agenda Item: 8F

SPECIAL USE PERMIT CASE NUMBER: WSUP18-0013 (Discoveries Preschool)

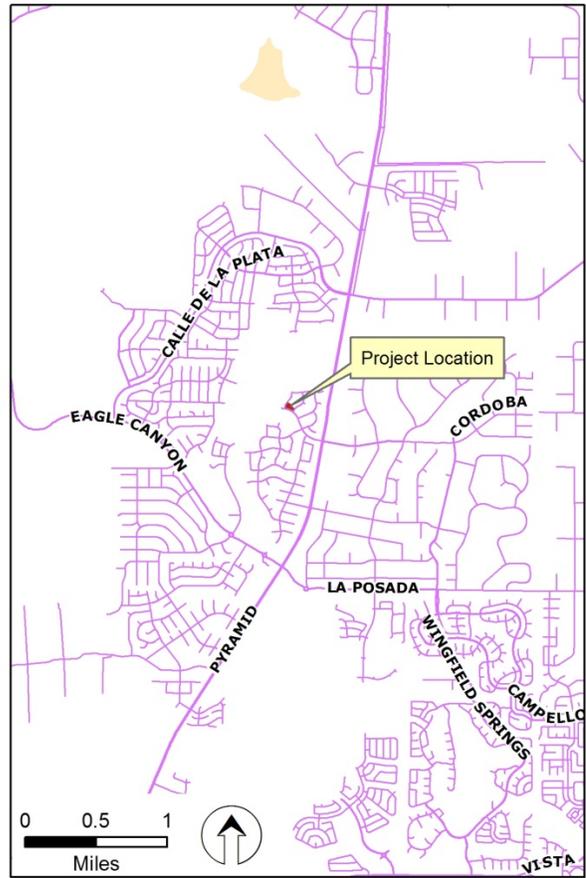
BRIEF SUMMARY OF REQUEST: To approve a 1,408 square foot addition to an existing 4,752 square foot child daycare facility

STAFF PLANNER: Planner's Name: Chad Giesinger, Senior Planner  
Phone Number: 775.328.3626  
E-mail: [cgiesinger@washoecounty.us](mailto:cgiesinger@washoecounty.us)

### CASE DESCRIPTION

For possible action, hearing, and discussion to approve a 1,408 square foot addition to the existing 4,752 square foot child daycare facility. The addition will include expansion of classroom space and 2 new bathrooms with a total of 4 toilets. The facility is currently licensed for a maximum of 106 students and 15 staff.

Applicant:	Robert Menzer
Property Owner:	Rudolf James Blaine, LLC
Location:	253 Egyptian Drive in Spanish Springs
APN:	089-432-08
Parcel Size:	1.05 acre
Master Plan:	Suburban Residential (SR)
Regulatory Zone:	Medium Density Suburban (MDS)
Area Plan:	Spanish Springs
Citizen Advisory Board:	Spanish Springs
Development Code:	Authorized in Article 810, Special Use Permits
Commission District:	4 – Commissioner Hartung



### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP18-0013 for Discoveries Preschool, having made all five findings in accordance with Washoe County Code Section 110.810.30.

*(Motion with Findings on Page 12)*

**Staff Report Contents**

Special Use Permit.....3

Vicinity Map.....4

Site Plan.....5

Project Evaluation .....9

Spanish Springs Citizen Advisory Board (SSCAB) ..... 10

Reviewing Agencies ..... 10

Recommendation ..... 12

Motion ..... 12

Appeal Process ..... 12

---

**Exhibits Contents**

Conditions of Approval .....Exhibit A

Agency Comment Letters .....Exhibit B

Public Notice Map .....Exhibit C

Project Application.....Exhibit D

**Special Use Permit**

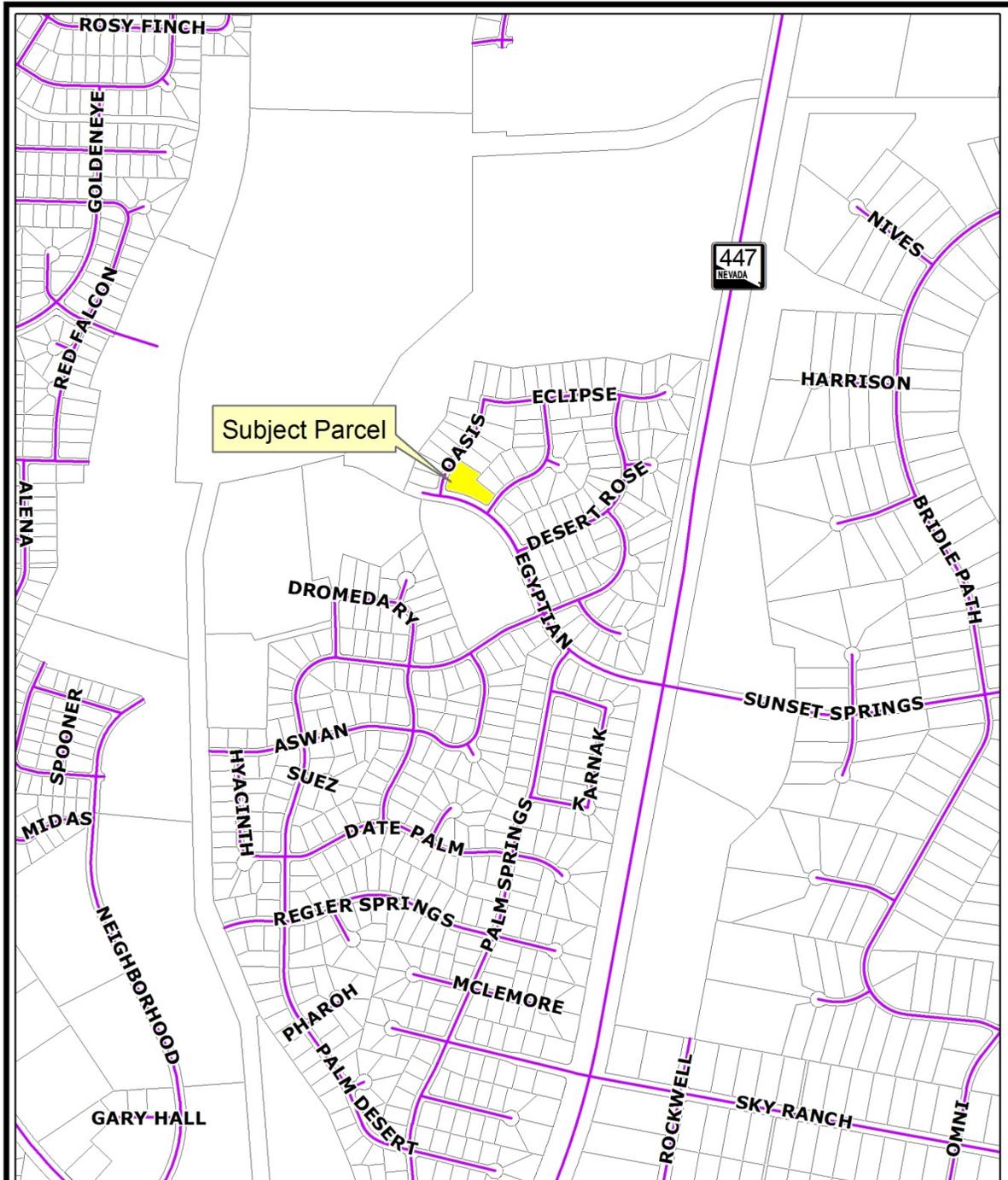
The purpose of a Special Use Permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the Special Use Permit, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some Conditions of Approval are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the business or project.

The Conditions of Approval for Special Use Permit Case Number WSUP18-0013 are attached to this staff report and will be included with the Action Order.

The subject property is designated as Medium Density Suburban (MDS). The proposed expansion of the child daycare facility is a permitted use in the MDS regulatory zone per WCC 110.302.05.2 with approval of a special use permit by the Board of Adjustment (BOA). Therefore, the applicant is seeking approval of this SUP from the BOA.

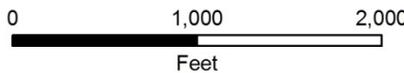
**Vicinity Map**



**VICINITY MAP**

WSUP18-0013 (Discoveries Preschool)


 APN 089-432-08  
 253 Egyptian Drive



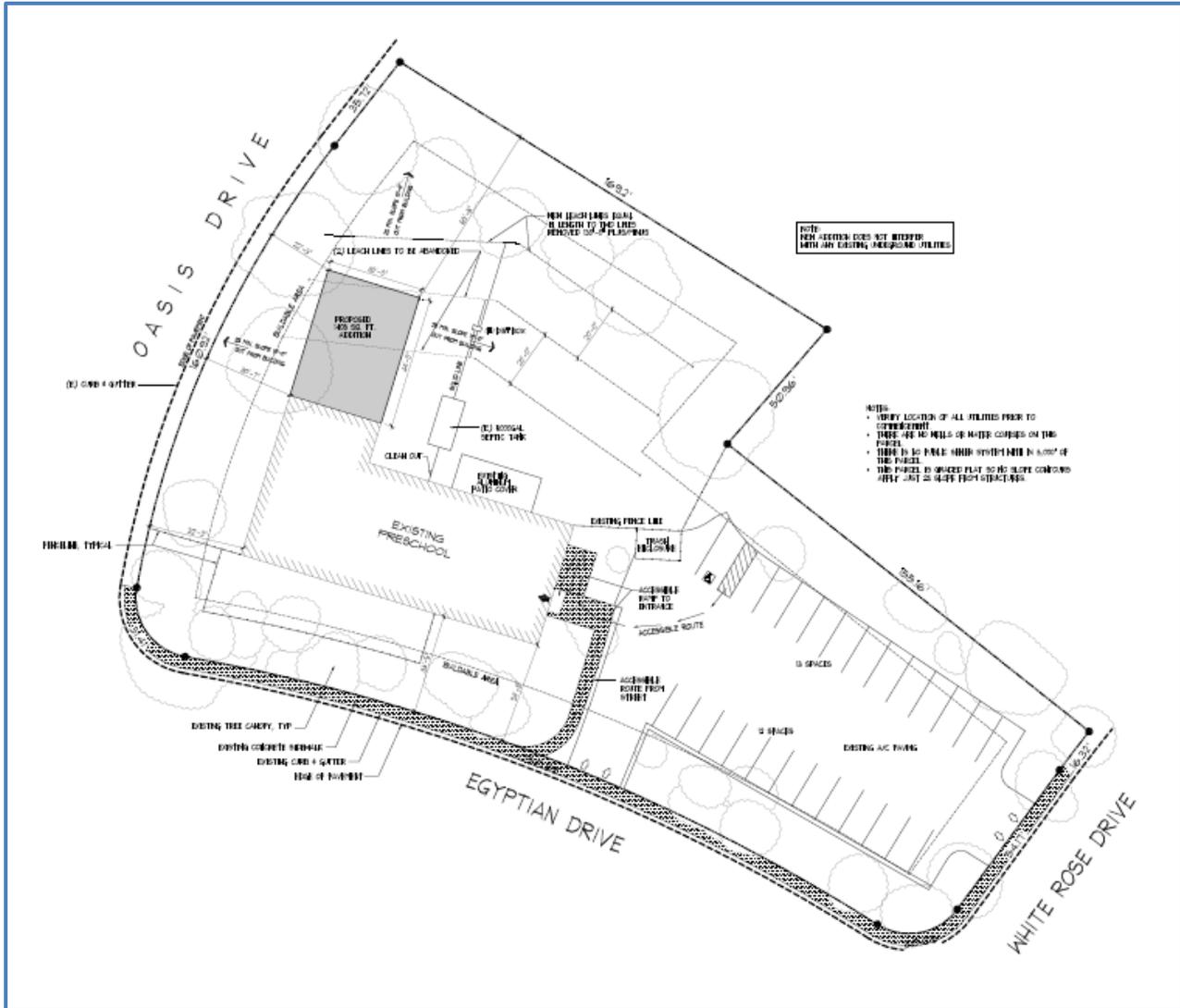
Community Services  
 Department, Planning  
 and Building

  
**WASHOE COUNTY**  
 NEVADA

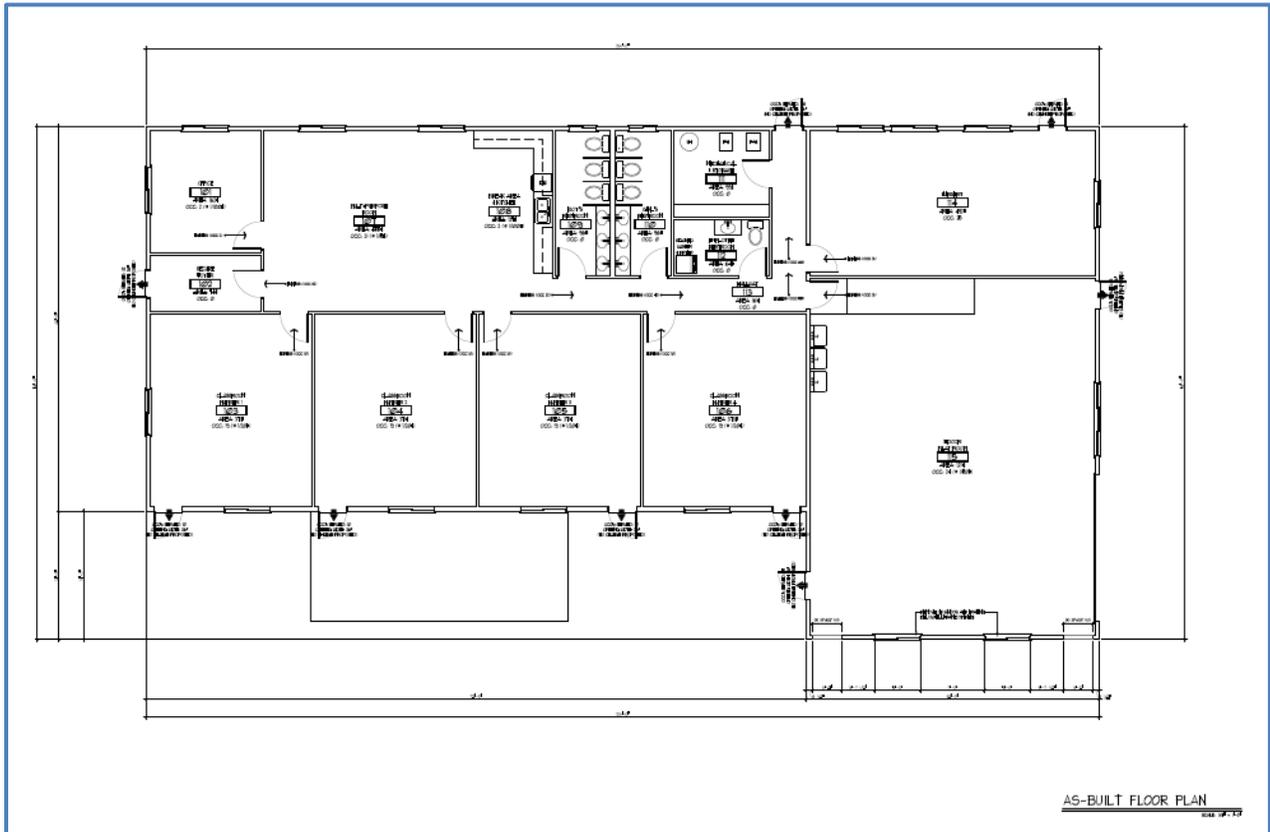
Post Office Box 11130  
 Reno, Nevada 89520 (775) 328-3600

Date: July 2018

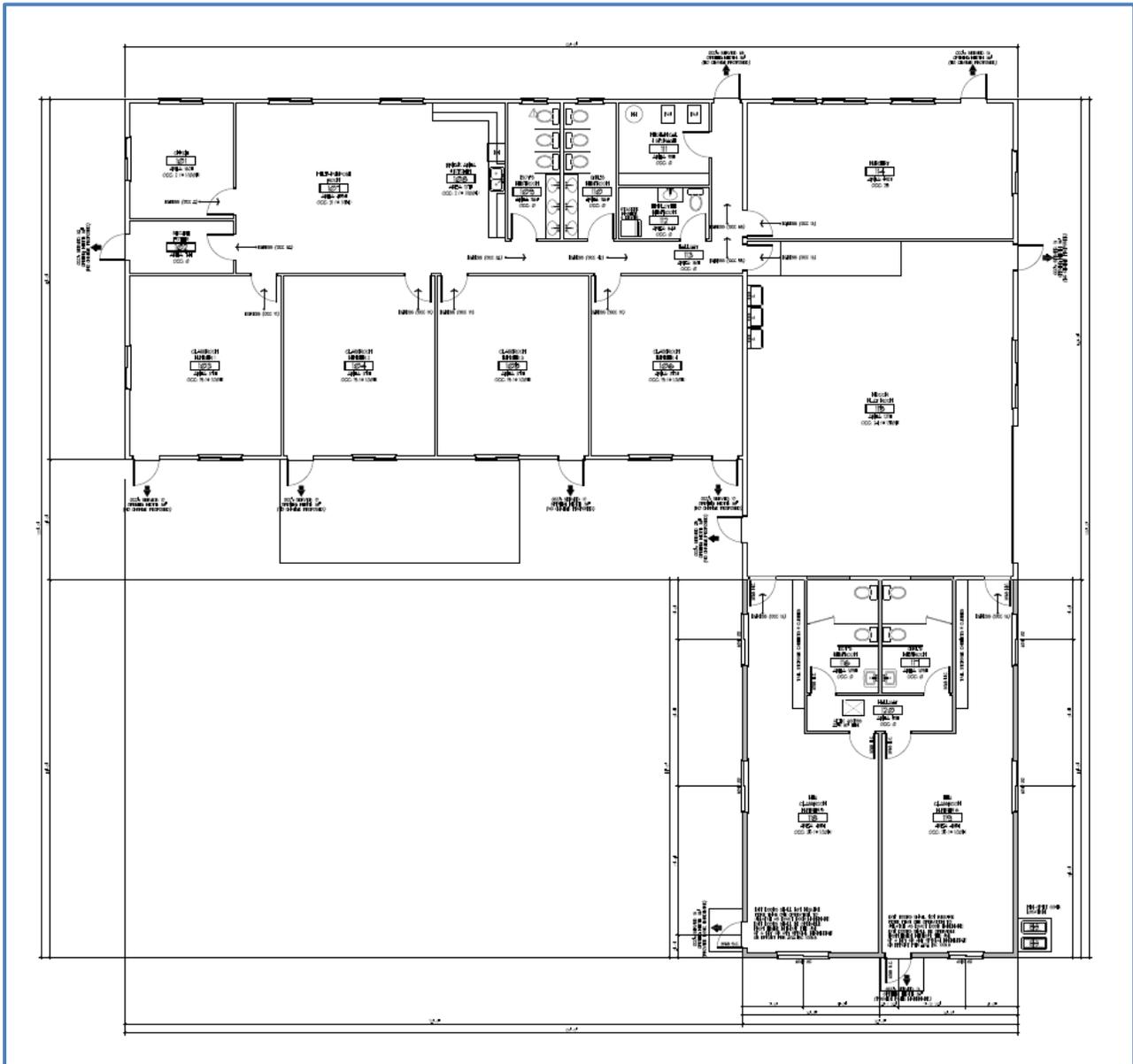
### Site Plan



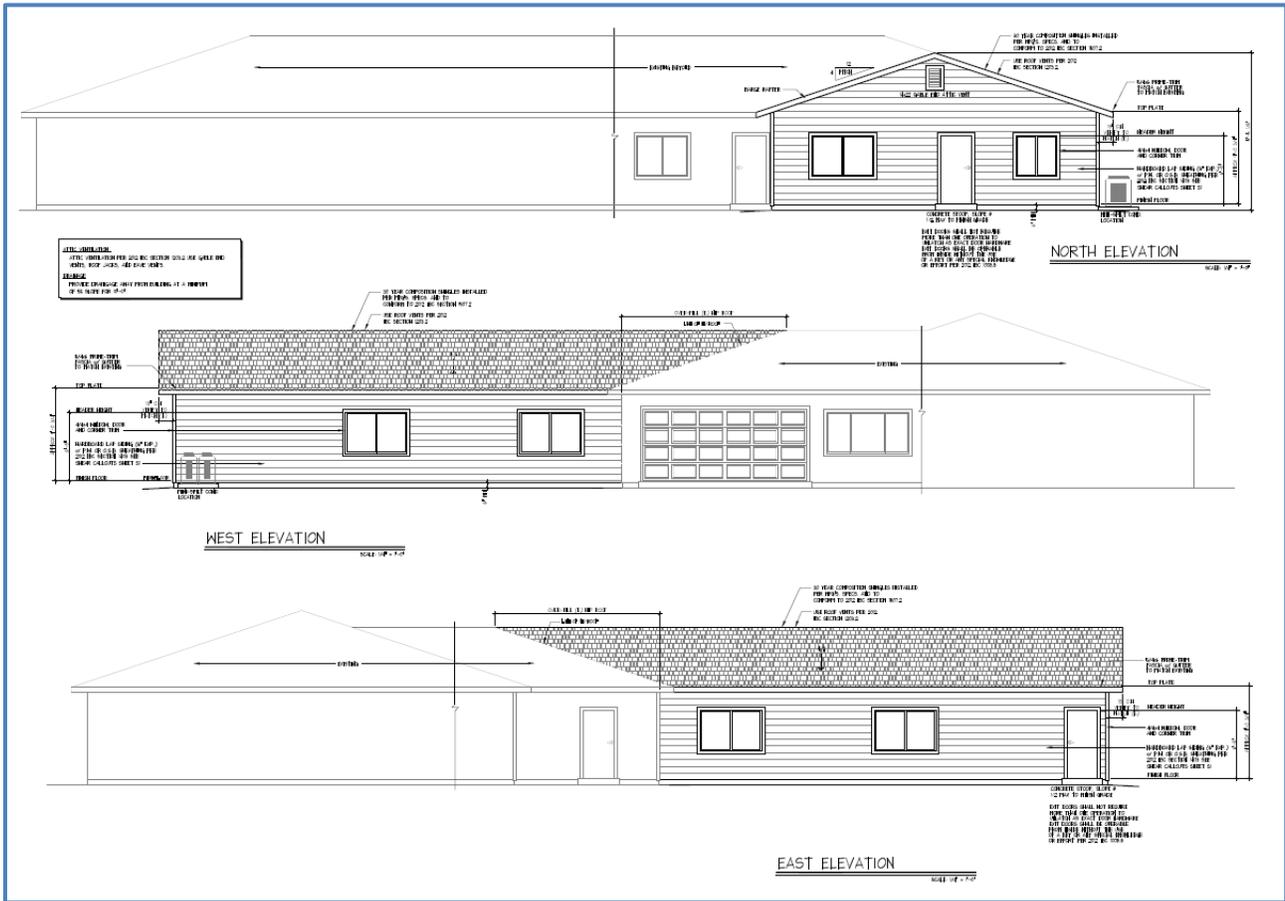
### Existing Floor Plan



### Proposed Floor Plan



### Elevations



**Project Evaluation**

The applicant is proposing to construct a 1,408 square foot addition to an existing 4,752 square foot child daycare facility. According to the applicant, the expansion is necessary due to recent regulatory changes to the amount of square feet of classroom space required per student. The existing size of the facility is apparently no longer in compliance with this regulation and thus either must add space or reduce the number of students served.

The facility is currently licensed for a maximum of 106 students and 15 staff (per available business license information). The applicant has stated that they do not intend to increase the number of students currently being served by the facility. The applicant is proposing the addition only to remain in business, as is, with the same number of students, not to enable additional student capacity. Therefore, no additional impacts are anticipated to result from the expansion since current operations and student levels should remain the same.

The facility was originally approved by special use permit (SUP) in 1992 and has been in continuous operation since opening. The SUP authorized the facility to accommodate up to 80 children, 20 infants, and 12 to 15 employees. While the current license parameters and operations are similar to this number (i.e. slightly higher by 6 students), the addition to the facility exceeds a 10% expansion of an existing use (the proposed expansion is approximately 30%) and thus triggers the need for a new special use permit.

**Landscaping, Parking, Grading and Access:**

The addition is proposed to be located to the rear of the building in an area of decomposed granite currently used as a play space (see graphic below and site plan). The addition will be only partially visible from the public right-of-way and will not impact any existing landscaping or parking. There is mature landscaping (mostly trees) on the perimeter of the site and adequate parking already exists. There is an existing paved parking lot (see below) with 26 spaces, including the required handicapped parking space.

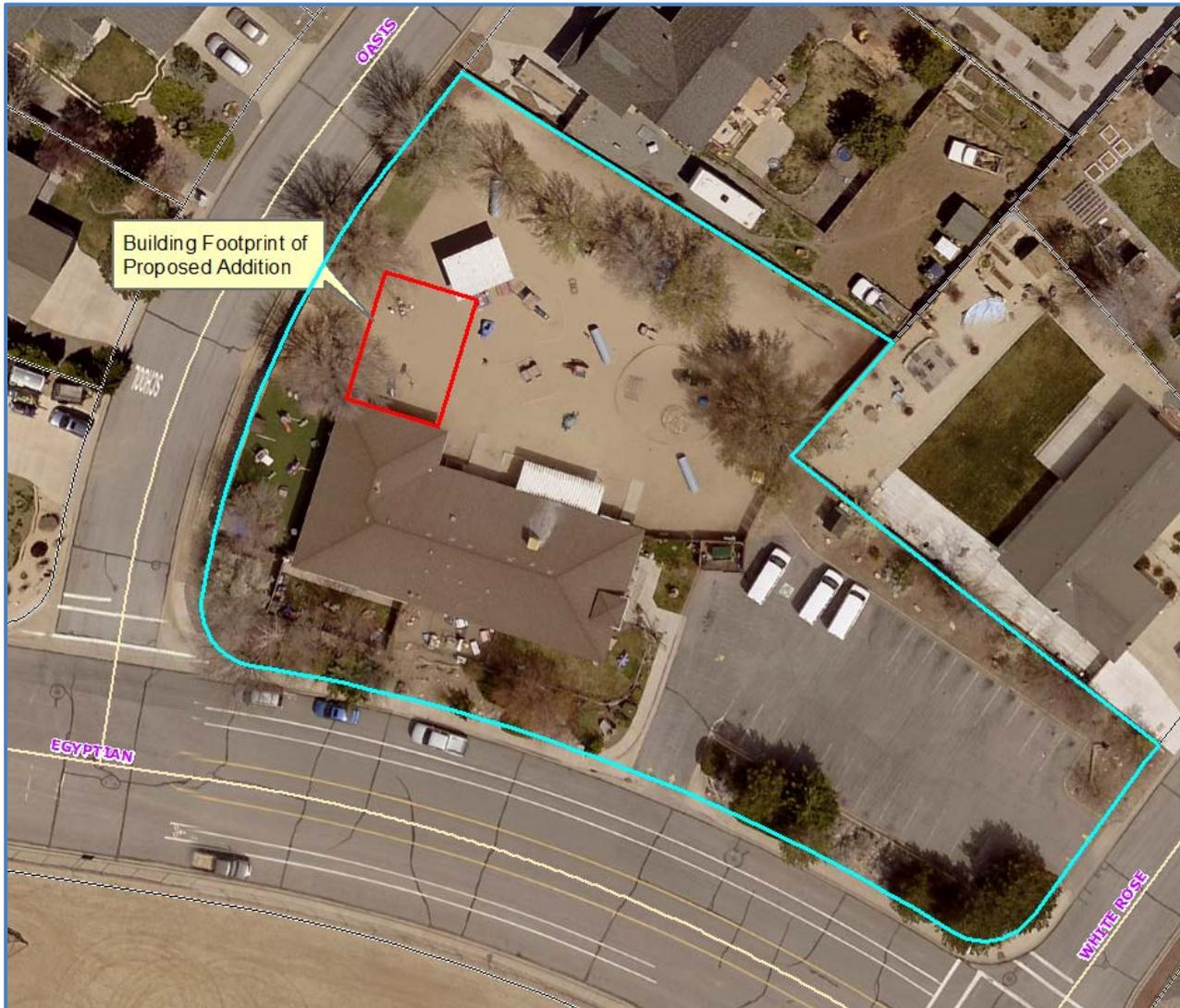
No additional landscaping or parking is necessary to accommodate the expansion. Staff has determined that the site will still contain the required 20% landscaping coverage after construction of the addition. In addition, the applicant is proposing to add some new shrubbery adjacent to the new addition. Because the number of students (and staff) is not increasing as a result of the expansion, no additional parking spaces are necessary. The site is generally flat so only a slight amount of grading (less than 5 cubic yards, primarily to create slope for drainage) will be necessary to accommodate the addition. Access will not change from the current access point off of White Rose Dr.

**Setbacks, Building Height, Signage and Lighting:**

The proposed location of the addition meets the required 20 foot setback and the structure complies with the 35 foot height limit for the regulatory zone (see site plan and building elevations). No new signage is proposed and new lighting will be minimal consisting of down shielded exterior wall lights at each of the new entrances to the addition, which will be placed less than 12 feet in height. The addition will be architecturally compatible with the existing structure regarding color, design, and building materials.

**Traffic and Hours of Operation:**

Since current operations are expected to remain the same after construction of the addition, no additional traffic impacts are anticipated. The level of students currently served by the facility is just under the threshold for requiring a Traffic Impact Study. Existing hours of operation are expected to remain the same (i.e.: 6:30 a.m. to 6 p.m.).



### **Water, Sewer and Utilities:**

The facility is currently served by municipal water (TMWA) and new water demand will be minimal (no additional water rights or service improvements are necessary). Having been constructed in 1993, the facility is currently served by a 5,000 gallon septic system. The applicant has been coordinating with the Nevada Department of Environmental Protection (NDEP) and Health District to ensure approval of the expansion (NDEP approval is required due to commercial use of the septic system). NDEP has indicated that they will approve the addition's use of the existing septic system (see Exhibit B, Agency Comment Letters) although some leach lines may need to be slightly re-located. All necessary utilities are available, to include adequate fire protection.

### **Spanish Springs Citizen Advisory Board (SS CAB)/Public Comment**

The proposed project was reviewed by the SS CAB at the regularly scheduled meeting on July 11, 2018. The SS CAB did not have any substantive comments or concerns and recommended by a 3-0 vote that the SUP be approved by the BOA. Staff has not received any public comment to date. Adjacent neighbors that received notice (see Exhibit C, Public Notice Map) of the SUP have not expressed any concerns to staff. **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Planning and Building Division

- Engineering and Capital Projects Division
  - Traffic
  - Land Development
- Utilities/Water Rights
- Washoe County Health District
  - Environmental Health Services Division
- Nevada Department of Environmental Protection
- Truckee Meadows Fire Protection District
- Regional Transportation Commission

Four out of the eight above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report as Exhibit A and will be included with the Action Order, if approved.

- Washoe County Planning and Building Division addressed the hours of operation, required landscaping, parking, lighting standards, and water rights, and imposed operational conditions that will be in effect for the life of the project.  
**Contact: Chad Giesinger, 775.328.3626, cgiesinger@washoecounty.us**
- Washoe County Engineering and Capital Projects addressed the adequacy of construction improvement drawings, compliance with drainage standards, utilities, and traffic. No substantive conditions of approval were recommended.  
**Contact: Leo Vesely, 775.328.2041, lvesely@washoecounty.us**

### **Staff Comment on Required Findings**

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan.  
*Staff Comment: The use is consistent with the Spanish Springs Area Plan. Child Daycare is an allowed use in the plan and no other policies are applicable.*
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.  
*Staff Comment: As previously discussed in this staff report, adequate infrastructure exists to accommodate the proposed use. The use has been operating as is since 1993 and no increase in operational parameters is proposed.*
3. Site Suitability. That the site is physically suitable for the proposed child daycare use and for the intensity of such a development.  
*Staff Comment: The site is suitable for the proposed use as evidenced by the long running operation of the facility. The site is flat and has ample space to accommodate the proposed expansion.*
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or

improvements of adjacent properties; or detrimental to the character of the surrounding area.

*Staff Comment: The proposed use will not be significantly detrimental. The use has been operating for many years without creating significant detrimental impacts to surrounding properties, the public health, safety or welfare. NDEP has indicated that the septic system is adequate to serve the proposed expansion.*

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

*Staff Comment: Not applicable.*

### **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Special Use Permit Case Number WSUP18-0013 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve, with conditions, Special Use Permit Case Number WSUP18-0013 for Discoveries Preschool, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a child daycare facility and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Robert Menzer  
253 Egyptian Drive

Sparks, NV 89441

Owner: Rudolf James Blaine, LLC  
253 Egyptian Drive  
Sparks, NV 89441

Representatives: R.O. Anderson Engineering  
Attn: Andrew Nolting  
P.O. Box 2229  
Minden, NV 89423



# Conditions of Approval

Special Use Permit Case Number WSUP18-0013

The project approved under Special Use Permit Case Number WSUP18-0013 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on August 2, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

**Unless otherwise specified**, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

## **Washoe County Planning and Building Division**

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

**Contact – Chad Giesinger, Senior Planner, 775.328.3626,  
[cgiesinger@washoecounty.us](mailto:cgiesinger@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- c. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170

- e. The applicant shall provide a will serve letter from TMWA indicating that they have secured additional water rights in support of the proposed expansion. **Or if no additional water rights are necessary** by TMWA, a standard "*No Additional Resource Necessary*" letter from TMWA shall be submitted to Washoe County.
- f. The following **Operational Conditions** shall be required for the life of the project and business:
  - i. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by Planning and Building.
  - ii. This Special Use Permit shall remain in effect until or unless it is revoked or is inactive for one year.
  - iii. All landscaping and irrigation systems shall be maintained at all times to conform with the Landscaping Section of the Washoe County Development Code for the life of the child daycare facility, including the replacement of dead plants, trees, shrubs and all ground cover.
  - iv. Hours of operation for the child daycare facility are limited to the hours of 6 a.m. to 7 p.m.
  - v. Additional students/capacity shall not be added beyond the currently licensed maximum of 106 students and 15 staff.
  - vi. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site. Any subsequent purchaser/operator of the site shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

**Washoe County Engineering and Capital Projects**

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

**Contact – Leo Vesely, 775.328.2040, [lvesely@washoecounty.us](mailto:lvesely@washoecounty.us)**

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with County Code Article 438, Grading Standards. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. All drainage shall be in accordance with Washoe County Code Article 420 Drainage Standards.

\*\*\* End of Conditions \*\*\*



# WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT Engineering and Capital Projects

1001 EAST 9<sup>TH</sup> STREET  
PO BOX 11130  
RENO, NEVADA 89520-0027  
PHONE (775) 328-3600  
FAX (775) 328.3699

Date: July 09, 2018

To: Chad Giesinger, Planning and Building Division

From: Leo R. Vesely, P.E., Engineering and Capitol Projects Division

Re: SUP for Discoveries Preschool Addition - WSUP18-0013  
APN 089-432-08

### GENERAL CONDITIONS

Contact Information: Leo R. Vesely, P.E. (775) 328-2041

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building permit. Grading shall be in accordance with Washoe County Code Article 438 Grading Standards. Silts shall be controlled on-site and not allowed onto adjacent properties.

### DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo R. Vesely, P.E. (775) 328-2041

1. All drainage shall be in accordance with Washoe County Code Article 420 Drainage Standards.

### TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Clara Lawson, P.E. (775) 328-3603

There are no traffic related conditions of approval.

### UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

There are no utility related conditions of approval



INTEGRITY



EFFECTIVE  
COMMUNICATION



QUALITY  
PUBLIC SERVICE

NDEP\_Comments.txt

From: Patrick Mohn <pmohn@ndep.nv.gov>  
Sent: Friday, June 22, 2018 7:30 AM  
To: Giesinger, Chad  
Subject: WSUP18-0013 Discoveries Pre-School

Follow Up Flag: Flag for follow up  
Due By: Monday, June 25, 2018 11:30 AM  
Flag Status: Flagged

Chad,

The NDEP has done a cursory review of the SUP case for the nominal 1,400 sq.ft. addition to the Discoveries Pre-School. The SUP application noted no changes to utilities. The NDEP understands that there is already water service and an existing septic system. Septic line re-location may require a building permit from the local authority or Washoe District Health.

Pat Mohn

Patrick A. Mohn, M.Sc., P.E.  
UIC Compliance Coordinator  
Bureau of Water Pollution Control (BWPC)  
Nevada Division of Environmental Protection  
901 South Stewart Street, Suite 4001  
Carson City, NV 89701  
p: 775.687.9419 fax: 775.687.4684  
pmohn@ndep.nv.gov

WC\_Sewer\_noComment.txt

From: Fagan, Donna  
Sent: Monday, July 02, 2018 5:00 PM  
To: Bronczyk, Christopher; Krause, Eva; Mullin, Kelly; Giesinger, Chad; Lloyd, Trevor  
Subject: FW: June Agency Review Memo II

Planners,

Comments from Tim on WSUP18-0014, WPVAR18-0002, WPVAR18-0001, WSUP18-0013, WPVAR18-0004, WADMIN18-0009 and WTPM18-0007.

Thank you,  
Donna

Donna Fagan  
Planning and Building Division | Community Services Department  
dfagan@washoecounty.us | Office: 775.328.3616  
1001 E. 9th Street, Reno, NV 89521

From: Simpson, Tim  
Sent: Monday, July 02, 2018 4:49 PM  
To: Fagan, Donna; Vesely, Leo; West, Walt  
Cc: Smith, Dwayne E.; Klein, Kris  
Subject: RE: June Agency Review Memo II

I have no comments for the Board of Adjustment review items.

Timothy Simpson, P.E.  
Licensed Engineer | Community Services Department  
tsimpson@washoecounty.us | Office: (775) 954-4648 | Fax: (775) 328-3699  
1001 East 9th Street, Bldg A, Reno, NV 89512

The content of this email is the confidential property of washoe County and should not be copied, modified, retransmitted, or used for any purpose except with written authorization. If you are not the intended recipient, please delete all copies and notify us immediately.

From: Fagan, Donna  
Sent: Thursday, June 21, 2018 5:13 PM  
To: Vesely, Leo; Simpson, Tim; Gump, Mike; Handrock, Wayne; West, Walt; Lawson, Clara  
Cc: Smith, Dwayne E.; Klein, Kris  
Subject: June Agency Review Memo II

Please find the attached Agency Review Memo with cases received this month by CSD, Planning and Building.

You've been asked to review the items as indicated below. Click on the highlighted item description for a link to the application.

Please send any comments or conditions to the planner for that item.

Leo: Items #1 thru #6

Page 1

**WSUP18-0013**  
**EXHIBIT B**



**WASHOE COUNTY**  
**COMMUNITY SERVICES**  
**INTEGRITY COMMUNICATION SERVICE**

P.O. Box 11130  
Reno, Nevada 89520-0027  
Phone: (775) 328-3600  
Fax: (775) 328-3699

June 26, 2018

TO: Chad Giesinger, Senior Planner, CSD, Planning & Building Division  
FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD  
SUBJECT: Special Use Permit Case Number WSUP18-0013 (Discoveries Preschool)

**Project description:**

The applicant is requesting the approval of a 1,408 square foot addition to the existing 4,752 square foot child daycare facility. The addition will include expansion of classroom space and 2 new bathrooms with a total of 4 toilets. The facility is currently licensed for a maximum of 106 students and 15 staff.

Location: 253 Egyptian Drive in Spanish Springs, Assessor's Parcel Number: 089-432-08

*The Community Services Department (CSD) recommends approval of this project with the following comments and Water Rights conditions:*

***Comments:***

- 1) This preschool is within TMWA water service area, and receiving domestic water service from TMWA.

***Conditions:***

- 1) Applicant shall provide a will serve letter from TMWA indicating that they have secured additional water rights in support of the proposed expansion. Or if no additional water rights are necessary by TMWA, a standard "No Additional Resource Necessary" letter from TMWA shall be submitted to Washoe County as a condition of approval.



**REGIONAL TRANSPORTATION COMMISSION**

*Metropolitan Planning • Public Transportation & Operations • Engineering & Construction*

Metropolitan Planning Organization of Washoe County, Nevada

June 29, 2018

FR: Chrono/PL 183-18

Ms. Juleee Olander, Planner  
Community Services Department  
Washoe County  
PO Box 11130  
Reno, NV 89520

**RE: WADMIN18-0009 (Lodge at Galena)**  
**WPVAR18-0001 (Taylor)**  
**WPVAR18-0002 (Farr Garage)**  
**WPVAR18-0004 (Eekhoff Residence)**  
**WSUP18-0013 (Discoveries Preschool)**  
**WSUP18-0014 (Madole Construction)**  
**WTPM18-0007 (Spanish Springs Associates)**

Dear Ms. Olander,

We have reviewed the above applications and have no comments at this time.

Thank you for the opportunity to comment on these applications. Please feel free to contact me at 775-332-0174 or email me at [rkapuler@rtcwashoe.com](mailto:rkapuler@rtcwashoe.com) if, you have any questions or comments.

Sincerely,

Rebecca Kapuler  
Planner

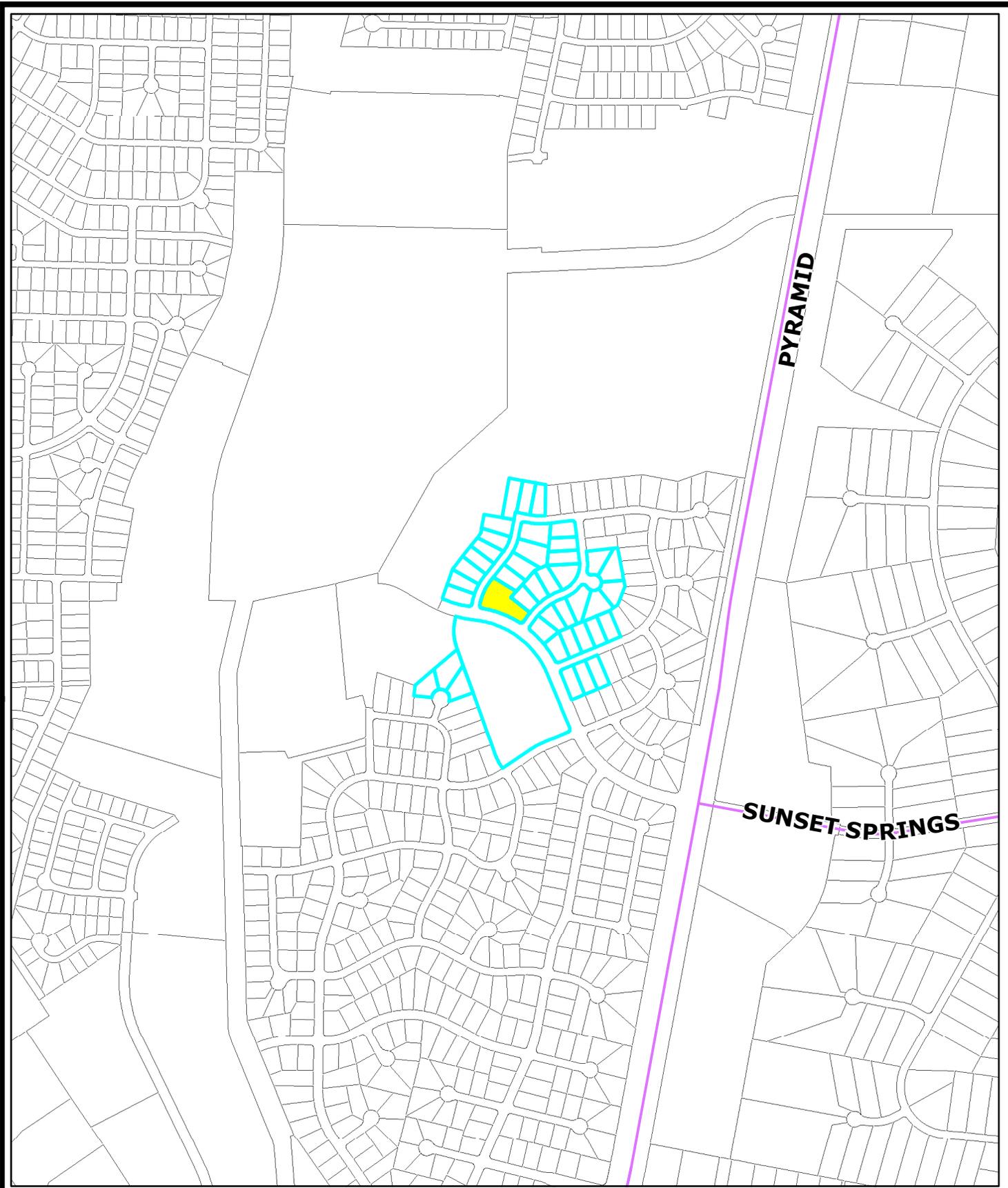
RK/jm

Copies: Mojra Hauenstein, Washoe County Community Services  
Trevor Lloyd, Washoe County Community Services  
Chris Bronczyk, Washoe County Community Services  
Chad Giesinger, Washoe County Community Services  
Eva Krause, Washoe County Community Services  
Kelly Mullin, Washoe County Community Services,  
Daniel Doenges, Regional Transportation Commission  
Tina Wu, Regional Transportation Commission  
Mark Maloney, Regional Transportation Commission  
Julie Masterpool, Regional Transportation Commission  
David Jickling, Regional Transportation Commission

/Washoe County no comment 07092018

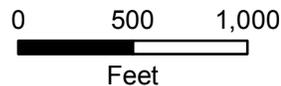
**RTC Board:** Ron Smith (Chair) • Bob Lucey (Vice Chair) • Paul McKenzie • Vaughn Hartung • Neoma Jardon  
PO Box 30002, Reno, NV 89520 • 1105 Terminal Way, Reno, NV 89502 • 775-348-0400 • [rtcwashoe.com](http://rtcwashoe.com)

**WSUP18-0013**  
**EXHIBIT B**



**WSUP18-0013 Public Notice Map**

- Noticed Parcels (within 500 feet of subject parcel)
- Subject Parcel



**Community Services  
Department**

**WASHOE COUNTY  
NEVADA**

Post Office Box 11130  
Reno, Nevada 89515

# Community Services Department

## Planning and Building

### SPECIAL USE PERMIT

(see page 5)

### SPECIAL USE PERMIT FOR GRADING

(see page 11)

### SPECIAL USE PERMIT FOR STABLES

(see page 16)

## APPLICATION



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <u>CLASSROOM ADDITION FOR DISCOVERIES PRESCHOOL</u>			
Project Description: <u>1408 SQ. FT. CLASSROOM ADDITION</u>			
Project Address: <u>253 EGYPTIAN DRIVE SPARKS NV 89441</u>			
Project Area (acres or square feet): <u>SITE EQUALS 1.047 ACRES</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>NORTHWEST OF THE INTERSECTION OF PYRAMID WAY &amp; SUNSET SPARKS</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>089-432-08</u>	<u>1.047</u>		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <u>RUDOLPH JAMES BLAINE LLC.</u>		Name: <u>ANDREW NOLTING</u>	
Address: <u>253 EGYPTIAN DRIVE</u>		Address: <u>1003 ESMEERALDA AVE</u>	
Zip: <u>89441</u>		MINDEN NV Zip: <u>89423</u>	
Phone: <u>775-720-9361</u> Fax:		Phone: <u>782-2322</u> Fax:	
Email: <u>RMEOFING@CHARTER.NET</u>		Email: <u>ANOLTING@FOANPERSON.COM</u>	
Cell: <u>775-720-9361</u> Other:		Cell: <u>775-901-2544</u> Other:	
Contact Person: <u>ROB MENZER</u>		Contact Person: <u>ANDREW NOLTING</u>	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: <u>SAME AS ABOVE</u>		Name: <u>SARA FINCH</u>	
Address:		Address: <u>1864 PAINTED DESERT DR</u>	
Zip:		MINDEN NV Zip: <u>89423</u>	
Phone: Fax:		Phone: <u>775-671-7175</u> Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person: <u>SARA FINCH</u>	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: ROBERT MENZER

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )
COUNTY OF WASHOE ) GINA MENZER

I, ROBERT MENZER (please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 089-432-08

Printed Name ROBERT MENZER
Signed [Signature]
Address

Subscribed and sworn to before me this 13 day of June 2018

[Signature]
Notary Public in and for said county and state

My commission expires: 7/7/19

(Notary Stamp)



\*Owner refers to the following: (Please mark appropriate box.)

- Owner (checked)
Corporate Officer/Partner
Power of Attorney
Owner Agent
Property Agent
Letter from Government Agency with Stewardship

## Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

A 1408 SQ. FT. CLASSROOM ADDITION TO DISCOVERIES PRESCHOOL. THE EXISTING BUILDING IS 4,752 SQ. FT. THE ADDITION IS TWO CLASSROOMS AND TWO BATHROOMS. ADDED TO THE REAR, NOT VISIBLE FROM EGYPTIAN WAY.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

CURRENTLY A 4,752 SQ FT. PRESCHOOL EXPANDED BY 1408 SQ. FT. TO 6,160 SQ. FT.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

1400 SQ. FT. ADDITION. NO ROADWAY,  
UTILITIES, WATER DRAINAGE, PARKING, SIGNS  
NEED TO BE ALTERED. A SMALL PORTION  
OF SEPTIC LEACH LINES WILL BE RE-LOCATED

4. What is the intended phasing schedule for the construction and completion of the project?

CONSTRUCTION IS PLANNED FOR LATE SUMMER  
EARLY FALL 2018. NO PHASING REQUIRED.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

RESIDENTIAL NEIGHBORHOOD, MAIN DRIVE  
PROPOSED ADDITION WILL NOT NEGATIVELY  
IMPACT AREA.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

ADDITION WILL ALLOW THIS PRESCHOOL TO REMAIN IN BUSINESS WITH THE SAME NUMBER OF PUPILS, THUS A BENEFIT TO THE LOCAL COMMUNITY.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

THE ADDITION HAS BEEN DESIGNED TO THE REAR OF THE EXISTING STRUCTURE, THIS IS NOT VISIBLE FROM EGYPTIAN DRIVE. IT IS ONLY PARTIALLY VISIBLE FROM OAKS DRIVE DUE TO FOLIAGE. CONSTRUCTION WILL ONLY TAKE 2-3 MONTHS

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

CONSTRUCTION WILL BE LIMITED TO BUSINESS HOURS ONLY. ALL STAGING CAN OCCUR TO NO VISIBLE LOCATION AT REAR OF PROPERTY.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

THERE ARE CURRENTLY 26 ON SITE PARKING SPACES. THIS NUMBER COVERS USE AND SIZE OF PRESCHOOL WITH ADDITON PER CODE.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

THERE IS AMPLE ON SITE MATURE LANDSCAPING THAT WILL NOT BE IMPACTED BY ADDITION. SMALL PLACEMENT SHRUBS WILL BE ADDED JUST ADJACENT TO NEW ADDITION. NO EXISTING FENCING WILL BE IMPACTED.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

NO ADDITIONAL EXTERIOR SIGNS WILL BE NECESSARY FOR THIS ADDITION. COLORS WILL MATCH EXISTING BROWN/GREY BODY, WHITE TRIM, SEE PICTURES ATTACHED. WIDTH, HEIGHT, EXTERIOR LIGHTING, LANDSCAPE ARE DEPICTED ON PLANS: ELEVATIONS, SITE PLAN, ELECTRICAL PLAN.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Utilities:

a. Sewer Service	NO, SEPTIC 5,000 GAL TANK
b. Electrical Service	✓
c. Telephone Service	✓
d. LPG or Natural Gas Service	✓
e. Solid Waste Disposal Service	✓
f. Cable Television Service	✓
g. Water Service	✓

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #	CITY WATER	acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

14. Community Services (provided and nearest facility):

a. Fire Station	ALL LISTED FACILITIES ARE WITHIN A 2 MILE RADIUS IN THE LOCAL SPANISH SPRINGS COMMUNITY
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 08943208  
 AIN:

Balance Good Through:	06/12/2018
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO  
 :894414:

RUDOLPHJAMESBLAINE LLC  
 253 EGYPTIAN DR  
 SPARKS NV 89441

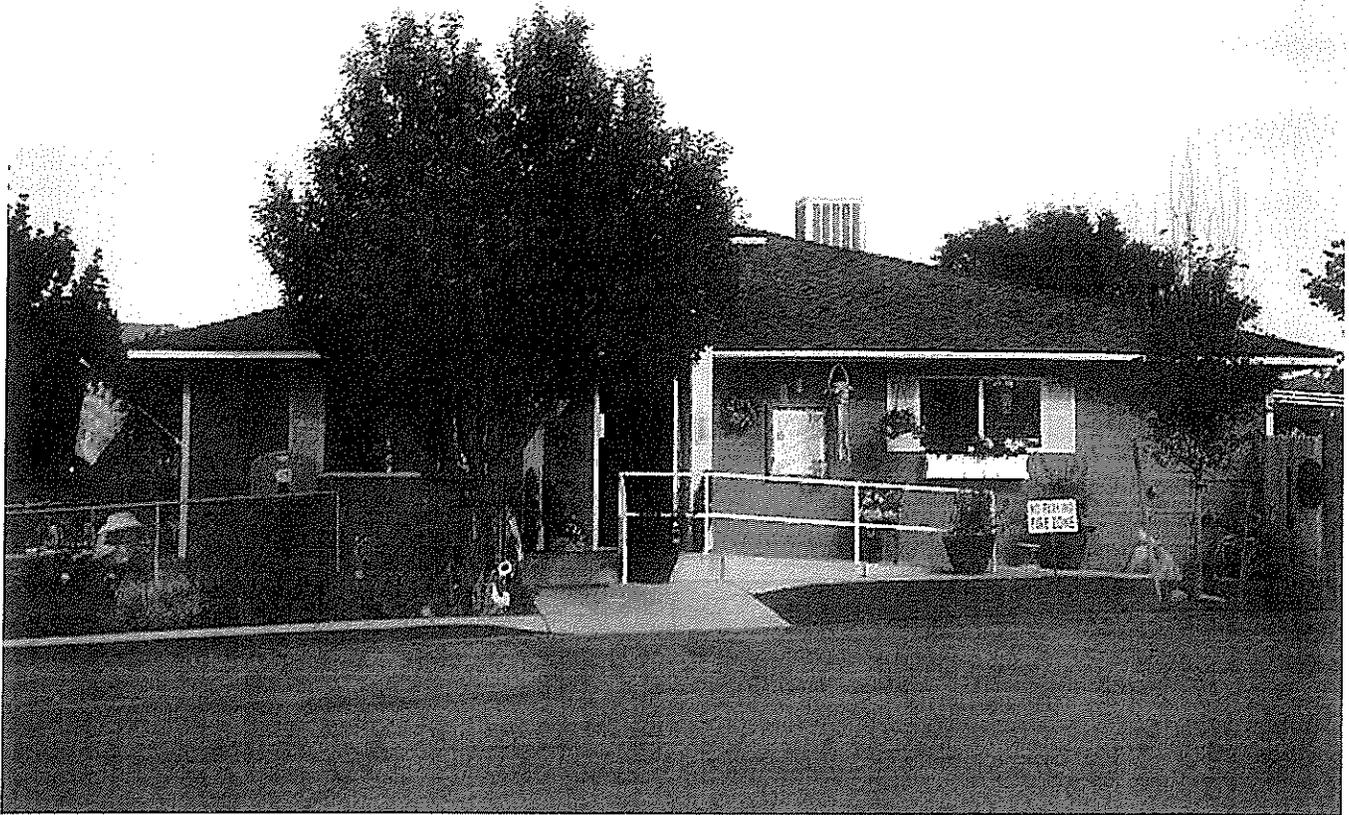
Description:

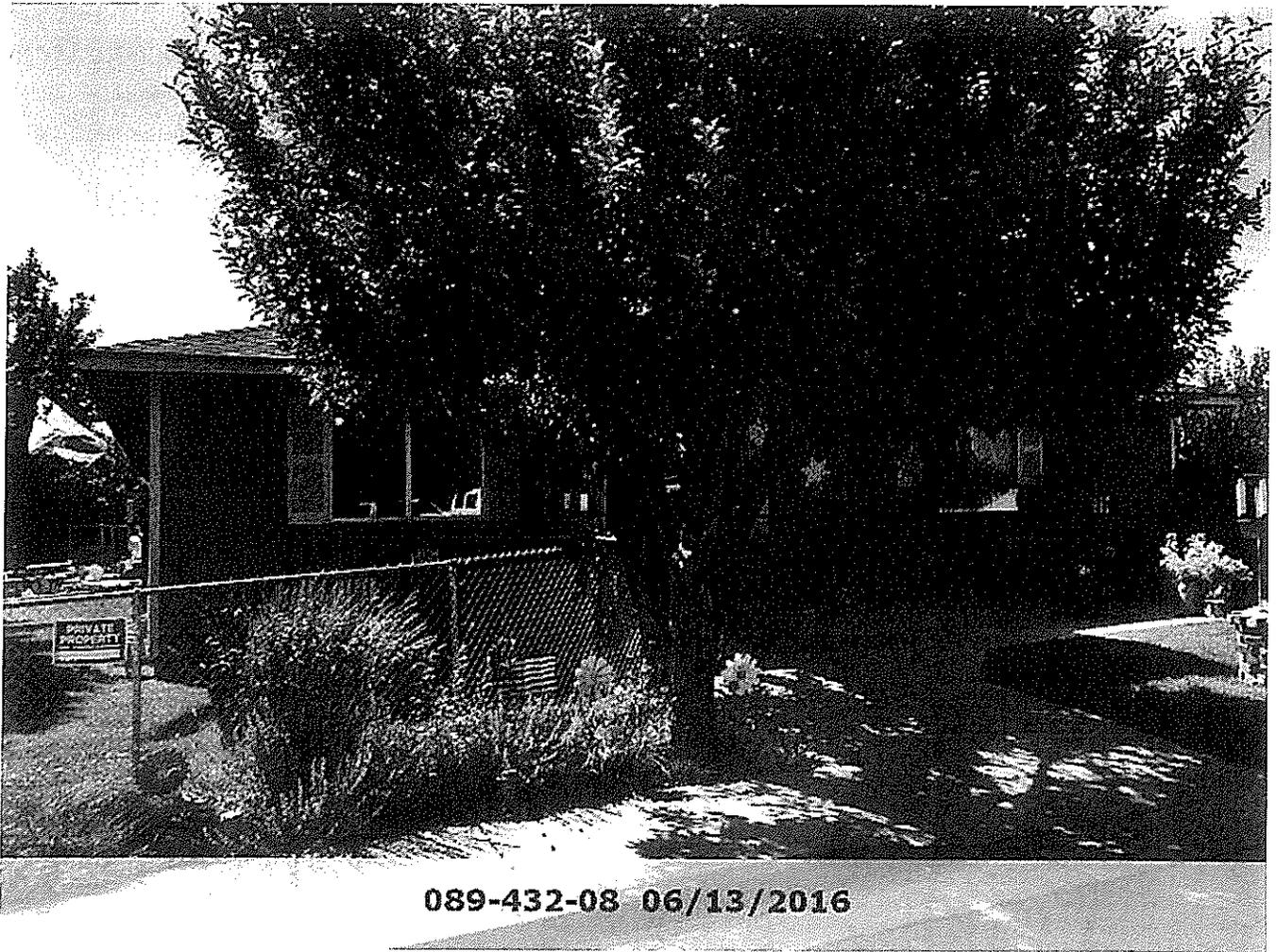
Situs: 253 EGYPTIAN DR  
 WCTY

-----  
 This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
08943208	2017	2017094145	1	08/21/2017	1,388.13	0.00	2.00	1,390.13	0.00
08943208	2017		2	10/02/2017	1,371.30	0.00	0.00	1,371.30	0.00
08943208	2017		3	01/01/2018	1,371.29	0.00	0.00	1,371.29	0.00
08943208	2017		4	03/05/2018	1,371.29	0.00	56.85	1,428.14	0.00
Current Year Totals					5,502.01	0.00	58.85	5,560.86	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								





## Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

2% SLOPE FOR FIRST 10' FROM NEW ADDITION

2. How many cubic yards of material are you proposing to excavate on site?

120 LINEAL FEET OF 12" FOOTING. LESS THAN 5 CUBIC YARDS

3. How many square feet of surface of the property are you disturbing?

1,800 SQ. FT. PLUS / MINUS

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

LESS THAN 5 CUBIC YARDS WILL BE EXCAVATED. THE  
BALANCE WILL BE USED TO CREATE A 2% SLOPE  
FOR FIRST 10' AWAY FROM ADDITION

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

YES, VERY MINIMAL GRADING REQUIRED.  
NO IMPORT OR EXPORT WILL BE REQUIRED.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

NO. VERY MINIMAL GRADING WILL BE REQUIRED

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

YES, AREAS 10' AWAY FROM PROPOSED ADDITION  
ARE ONLY AREAS TO BE DISTURBED.

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

A SMALL AREA WILL BE VISIBLE FROM WEST ON OASIS DRIVE

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

NO

10. What is the slope (Horizontal/Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

6" DROP IN 10'. A SILT FENCE CAN BE UTILIZED ON WEST SIDE AND NORTH SIDE OF CONSTRUCTION.

11. Are you planning any berms?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how tall is the berm at its highest?
------------------------------	--	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

LESS THAN 2% SLOPE, NO RETAINING WALLS  
WILL BE REQUIRED.

13. What are you proposing for visual mitigation of the work?

EXISTING MATURE LANDSCAPE PROVIDES NEAR  
TOTAL VISUAL MITIGATION OF CONSTRUCTION  
AREA.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO TREES REMOVED

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

AREA AROUND ADDITION IS EXISTING CLEAN D.G. LANDSCAPE, SEVERAL SMALL SHRUBS WILL BE ADDED.

16. How are you providing temporary irrigation to the disturbed area?

EXISTING HOSE BIBS AND DRIP IRRIGATION

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

NO, LIMITED SCOPE

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
------------------------------	--	-------------------------------

## Special Use Permit Application for Stables Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 810, Special Use Permits.

1. What is the maximum number of horses to be boarded, both within stables and pastured?

NONE

2. What is the maximum number of horses owned maintained by the owner/operator of the project, both within stables and pastured?

NONE

3. List any ancillary or additional uses proposed (e.g., tack and saddle sales, feed sales, veterinary services, etc.). Only those items that are requested may be permitted.

NONE

4. If additional activities are proposed, including training, events, competition, trail rides, fox hunts, breaking, roping, etc, only those items that are requested may be permitted. Clearly describe the number of each of the above activities which may occur, how many times per year and the number of expected participants for each activity.

NONE

5. What currently developed portions of the property or existing structures are going to be used with this permit?

ONE STRUCTURE, FLOOR RAIS ATTACHED

6. To what uses (e.g., restrooms, offices, managers living quarters, stable area, feed storage, etc.) will the barn be put and will the entire structure be allocated to those uses? (Provide floor plans with dimensions).

FLOOR PLANS ATTACHED

7. Where are the living quarters for the operators of the stables and where will employees reside?

NONE

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

26; SEE SITE PLAN

9. What are the planned hours of operation?

6:00 AM TO 6:00 PM

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

1400 SQ. FT. ADDITION, WITH SLIGHT MODIFICATION OF EXISTING SEPTIC LEACH FIELD. 2-3 MONTH CONSTRUCTION TIME

11. What is the intended phasing schedule for the construction and completion of the project?

ONE PHASE, 2-3 MONTHS

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

LARGE 1.047 ACRE LOT, PAVED AREA 10,788 SQ. FT. LANDSCAPED AREA 9,396 SQ. FT. PLAY AREA 20,108 SQ. FT.

13. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

1408 SQ. FT. WILL ALLOW THIS PRESCHOOL TO REMAIN OPEN WITH SAME NUMBER OF PUPILS NEEDED AND A BENEFIT TO THE COMMUNITY.

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

TRAFFIC AND NOISE WILL REMAIN UNCHANGED  
DUST WILL BE MITIGATED DURING CONSTRUCTION.  
NO OTHER IMPACTS ARE ANTICIPATED.

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

CONSTRUCTION WILL ONLY OCCUR IN BUSINESS HOURS 8AM - 5PM.

16. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

SEVERAL PLACEMENT SHRUBS AROUND NEW ADDITION. EXISTING MATURE LANDSCAPE WILL NOT BE IMPACTED

17. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

NO ADDITIONAL EXTERIOR SIGNS NECESSARY COLORS TO MATCH EXISTING. WIDTH, HEIGHT, EXTERIOR LIGHTING AND LANDSCAPE ARE DEPICTED ON PLANS.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

19. Community Sewer

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

20. Community Water

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------



## Andy Nolting

---

**From:** Giesinger, Chad <CGiesinger@washoecounty.us>  
**Sent:** Wednesday, June 13, 2018 10:18 AM  
**To:** Andy Nolting  
**Subject:** RE: WBLD18-105405 (Discoveries Preschool additon)

Hi Andy,

I was out of the office yesterday. See answers/responses to your questions below in red text. Regards,



**Chad Giesinger, AICP**  
Senior Planner, Planning and Building Division | Community Services Department  
[cgiesinger@washoecounty.us](mailto:cgiesinger@washoecounty.us) | Office: 775.328.3626 | Fax: 775.328.6133  
P.O. Box 11130, Reno, NV 89520-0027  
1001 East Ninth Street, Reno, NV 89512



---

**From:** Andy Nolting [mailto:ANolting@roanderson.com]  
**Sent:** Tuesday, June 12, 2018 12:24 PM  
**To:** Giesinger, Chad  
**Subject:** FW: WBLD18-105405 (Discoveries Preschool additon)

Chad

I have made some headway related to the septic system on this project. Nathan at the Bureau of Water Pollution Control has said that if I can provide paperwork showing this was built as a daycare from the start in 1992 he can present it to his supervisor and might have some luck. I have scanned prints of this paperwork that should be here anytime and will forward to Nathan. From there Dave Kelley at Washoe County Health will take that direction if it comes and approve the septic. **Sounds good. If Env. Health will approve, then planning is OK (although the BOA could still have concerns, so fyi.)**

I left a phone message with you relating to the Special Use Permit Application. **Got your message. This email response should answer your questions.** I have it filled out and have the following:

1. The required 6 packets full size and 8 ½ X 11, these are the sets of plans that have been reviewed by the building dept. and are approved pending 4-5 minor review comments. **Sounds good. Make sure everything you are submitting is on a flash drive or CD.** Also, provide an analysis of parking and landscaping requirements and how they will continue to be met. **These standards are based on the size of the building, which is being expanded, the number of employees (don't know if that is increasing), and the number of students (Child Daycare Use and Commercial).** **If you determine that no additional parking or landscaping is needed, then so state but explain why given the above.**
2. Development Application? Is this required, can you direct me to where that would be. **Required. It is the very first part of the SUP application – see screen shot below.**
3. Owner affidavit, this was part of the SUP and is notarized.
4. Proof of property tax payment.
5. Application Materials, again part of SUP just statements that materials and colors will match existing.
6. Title Report, I was told is not required. **Correct, not required.**

**Please make sure you bring in the exact amount for application fees. It will be SUP Commercial Minor, which is \$3,579.92 (unless you are installing a commercial kitchen as part of the improvements, then it would be commercial major because of additional health review).**

*MAKE PAYABLE TO WASHOE COUNTY*

**WSUP18-0013  
EXHIBIT D**

The only other item that concerns me is traffic impact study. This small addition is required to keep enrolment at current levels thus would not produce any additional peak hour trips. **Traffic study will not be required.** But if you are proposing new outside lighting, provide details, and if any new signage is proposed, that requires a separate building permit. Regards,

Andy Nolting

### Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

July 1, 2017



Andy Nolting, R.D.  
Residential Designer  
direct line 775.215.5020  
ANolting@roanderson.com  
www.ROAnderson.com

1603 Esmeralda Avenue  
Minden, NV 89423  
p 775.782.2322  
f 775.782.7084

140 W. Huffaker Lane, Suite 507  
Reno, NV 89511  
p 775.782.2322  
f 775.782.7084

**From:** Rob Menzer <rmroofing@charter.net>  
**Sent:** Wednesday, May 16, 2018 4:51 PM  
**To:** Andy Nolting <anolting@roanderson.com>  
**Subject:** Fwd: WBLD18-105405 (Discoveries Preschool additon)

Sent from Rob @ RM Roofing Co.

Begin forwarded message:

**From:** "Giesinger, Chad" <[CGiesinger@washoecounty.us](mailto:CGiesinger@washoecounty.us)>  
**Date:** May 16, 2018 at 11:36:12 AM PDT  
**To:** "[rmroofing@charter.net](mailto:rmroofing@charter.net)" <[rmroofing@charter.net](mailto:rmroofing@charter.net)>  
**Cc:** "Lloyd, Trevor" <[TLloyd@washoecounty.us](mailto:TLloyd@washoecounty.us)>  
**Subject:** WBLD18-105405 (Discoveries Preschool additon)

Hi Rob,

The email is to let you know that planning is going to have to enter corrections regarding the above referenced building permit. But before I do, I wanted to touch base with you about some of the issues I have identified.

This child daycare business appears to have been established either prior to the adoption of the current Development Code or during the transition period when the new code was going into effect. That means the use was legal when established but would now require approval of a Special Use Permit (SUP) under the current code. I have not been able to identify the existence of an approved SUP for this business; therefore, the use is considered a legal non-conforming use under the code and can continue as is, but cannot be expanded by more than 10%. The proposed addition represents an approximately 30% expansion of the use, thus triggering compliance with current code standards for approval of the use, parking, landscaping, etc. **So in order for planning to approve this building permit, you will first have to get a SUP approved by the Board of Adjustment.**

Before you make a decision on whether or not to submit a SUP, another potential issue I noticed is that the building appears to be on a 5,000 gallon septic tank. Current codes would not allow such a system on just a 1-acre lot. In addition, all commercial uses that are served by a septic system are now reviewed and permitted by the Nevada Department of Environmental Protection (NDEP). This means the proposed addition will have to be approved by NDEP and that approval is very unlikely according to my sources over in Environment Health. It is my understanding that NDEP requires 1 acre per 1,000 gallons of septic tank capacity; however,

they may have a waiver process or something for existing systems so I would advise you to contact NDEP to see if it is even possible for the addition to be approved by them. Alternatively, you may be able to connect to municipal sewer – to explore that possibility (and expense), contact Tim Simpson in the Engineering division at 954-4648.

Let me know what you find out and how you would like to proceed. If it turns out you want to pull the plug on the whole idea, then just let building know you want to withdraw the permit or I can enter a status of Denied which will kill the permit. Regards,

**Chad Giesinger, AICP, Senior Planner**

Washoe County Community Services Department | Planning and Development Division

[cgiesinger@washoecounty.us](mailto:cgiesinger@washoecounty.us) | (775) 328-3626 | Fax: (775) 328-6133 | 1001 E. Ninth St., Bldg. A, Reno, NV 89512



Connect with us: [cMail](#) | [Twitter](#) | [Facebook](#) | [www.washoecounty.us](http://www.washoecounty.us)

# PROJECT TEAM

## STRUCTURAL

RANDY VOGELGESANG S.E.  
PO BOX 7358  
SOUTH LAKE TAHOE, CA 96158  
530-544-3016

## CONTRACTOR

SARA P FINCH, President  
1864 PAINTED DESERT DRIVE  
MINDEN, NEVADA 89423  
LICENSE #80723  
PH: (775) 671-7175

# SYMBOL LIST

	SPOT ELEVATION		FIRE HYDRANT
	SANITARY SEWER		POWER POLE
	WATER LINE		PERK TEST
	GAS LINE		EXIST. EVERGREEN TREE
	ELECTRICAL LINE		EXIST. DECIDUOUS TREE
	TELEPHONE LINE		NOTE AREA
	CABLE T.V. LINE		WOOD FRAMING THRU MEMBER
	CENTERLINE		WOOD FRAMING INTERRUPTED MEMBER
	FENCE		REVISION CLOUD
	PROPOSED CONTOUR		BUILDING SECTION CUT
	EXISTING CONTOUR		WALL SECTION CUT
	BATT INSULATION		DETAIL CUT
	EARTH / GRADE		ROOM ELEVATION
	RIDGID INSULATION		
	CMU BLOCK / CONC. WALL		
	METAL		
	PAVING / CONCRETE		
	GRASS / GROUNDCOVER		
	STONE / GRAVEL		
	SAND / MORTAR / STUCCO		
	LAP SIDING		
	WOOD FINISH		
	ASPHALT / TILE ROOFING		
	METAL ROOFING		
	SPANISH TILE		

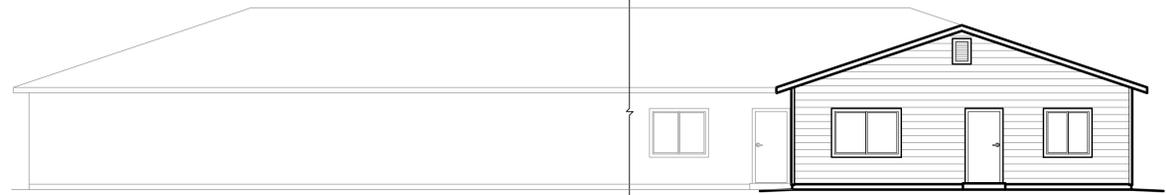
# CODE DATA

2012 INTERNATIONAL BUILDING CODE (IBC)  
2012 UNIFORM PLUMBING CODE (UPC)  
2012 UNIFORM MECHANICAL CODE (UMC)  
2011 NATIONAL ELECTRICAL CODE (NEC)  
2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2012 INTERNATIONAL FIRE CODE (IFC)

# PROJECT DATA

OCCUPANCY GROUP	A-2
OCCUPANT LOAD	214
CONSTRUCTION TYPE	V-B
ALLOWABLE FLOOR AREA	UNLIMITED
NUMBER OF STORIES	1
BUILDING HEIGHT	15'-5"
SNOW LOAD	30 P.S.F.
EXPOSURE	C
DESIGN WIND SPEED	130 M.P.H.
SEISMIC ZONE	D-1
FROST DEPTH	24" MINIMUM
FLOOR AREA EXISTING	4752 SQ. FT.
FLOOR AREA ADDITION	1408 SQ. FT.
FLOOR AREA TOTAL	6160 SQ. FT.

AUTOMATIC FIRE EXTINGUISHING SYSTEM (AFES):	YES
FIRE ALARM SYSTEM (IN CONJUNCTION OR INDEPENDENT OF AFES):	YES
LOT SIZE:	1.047 ACRES
TOTAL PAVING/CONCRETE:	10,788'
TOTAL LANDSCAPING:	9,396'
TOTAL FENCED PLAY AREA:	20,108'



**DISCOVERIES PRESCHOOL ADDITION**  
253 EGYPTIAN DRIVE  
SPARKS, NV 89441  
A.P.N. 089-432-08

# GENERAL NOTES

## GENERAL NOTES:

WORK PERFORMED SHALL COMPLY TO THE FOLLOWING:  
THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS INTERNATIONAL BUILDING CODE APPLICABLE EDITION.

ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

ENGINEER TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR/OWNER OR SUBCONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND OR SPECIFICATIONS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULT OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THESE CONTRACTOR FAILED TO NOTIFY THE ENGINEER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION, AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS.

INSTALLATION OF ALL MATERIALS AND FINISHES MUST BE DONE IN STRICT ACCORDANCE WITH THE RELATED MANUFACTURERS SPECIFICATIONS AND DETAILS.

THE CONTRACTOR/OWNER SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEE, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

## SITE WORK:

THE LOCATION OF UTILITIES SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTOR/OWNER'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT WITH THE NEW UTILITY INSTALLATION, PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND THE INFORMATION ON THESE DRAWINGS, HE/SHE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING.

CONNECT WATER, GAS, ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL BUILDING CODES AND PUBLIC WORKS SPECIFICATIONS.

THE CONTRACTOR/OWNER SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) 48 HOURS PRIOR TO START OF CONSTRUCTION.

REMOVE ALL DEBRIS FROM FORMS BEFORE POURING ANY CONCRETE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACING AND SHORING REQUIRED. THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL FRAMING UNTIL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED INTO THE PROJECT.

## ELECTRICAL:

ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE 2011 UNIFORM ELECTRICAL CODE AND MANUFACTURERS SPECIFICATIONS.

ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB.

SEE ELECTRICAL PLAN FOR FURTHER PERTINENT ELECTRICAL NOTES.

## PLUMBING:

ALL PLUMBING INSTALLATIONS SHALL CONFORM WITH THE 2012 UNIFORM PLUMBING CODE.

FAUCET AERATORS SHALL HAVE A MAXIMUM FLOW RATE OF NO MORE THAN 2.75 GALLONS PER MINUTE.

WATER CLOSETS SHALL HAVE WATER RESERVOIRS THAT LIMIT WATER USED TO NO MORE THAN 1.6 GALLONS PER FLUSH.

ALL WATER PIPES TO BE COPPER TYPE "L" UNDER FLOOR TYPE "M" ABOVE SLAB AND PVC SCHED. 40 FROM METER TO HOUSE.

WATER HEATERS SHALL BE INSULATED WITH AN EXTERNAL INSULATION BLANKET OF R-12 OR GREATER. INSULATE ALL PLUMBING PIPES IN UNCONDITIONED SPACES WITH EXTERNAL INSULATION WRAPPING OF R-3 OR GREATER.

WATER HEATER SEISMIC ANCHORING STRAPS SHALL BE LOCATED AT THE UPPER 1/3 AND LOWER 1/3 OF THE WATER HEATERS VERTICAL DIMENSION. LOWER STRAP SHALL BE PLACED A MINIMUM OF 4" ABOVE WATER HEATER CONTROLS.

ALL PLUMBING FIXTURES TO BE SELECTED BY CONTRACTOR/OWNER.

## MECHANICAL:

ALL MECHANICAL EQUIPMENT, DUCTWORK AND INSTALLATIONS SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2012 UNIFORM MECHANICAL CODE AND THE MANUFACTURERS SPECIFICATIONS.

GAS PIPING SHALL NOT BE EMBEDDED IN OR BELOW CONCRETE SLABS.

ALL MECHANICAL EQUIPMENT AND APPLIANCES SHALL BE APPROVED BY A NATIONALLY RECOGNIZED TESTING LAB.

## DOORS AND WINDOWS:

ALL GLAZING SHALL CONFORM TO 2012 INTERNATIONAL BUILDING CODE

ALL DOORS TO BE PAINT GRADE UNLESS NOTED OTHERWISE.

ALL INTERIOR DOORS SHALL BE 1 3/8" HOLLOW CORE UNLESS NOTED OTHERWISE.

FINAL INTERIOR DOOR CASING SHALL BE SELECTED BY CONTRACTOR/OWNER.

ALL INTERIOR DOOR CASING SHALL BE PAINT GRADE UNLESS NOTED OTHERWISE.

ALL DOOR HARDWARE SHALL BE SELECTED BY CONTRACTOR/OWNER.

ALL INTERIOR WINDOW CASING SHALL BE PAINT GRADE UNLESS NOTED OTHERWISE.

ALL INTERIOR WINDOW CASING STYLE TO BE SELECTED BY CONTRACTOR/OWNER.

## INTERIOR MATERIAL/FINISHES:

1/2" GYPSUM BOARD AT ALL WALLS. 5/8" GYPSUM BOARD AT ALL CEILINGS.

WALLS AND CEILINGS IN BATHROOMS SHALL BE PAINTED WITH SEMI-GLOSS LATEX ENAMEL. ALL OTHER WALLS SHALL BE PAINTED WITH FLAT LATEX ENAMEL.

ALL FINAL INTERIOR FINISH MATERIALS SELECTIONS WILL BE MADE BY CONTRACTOR/OWNER.

ALL BASE AND CROWN MOULDINGS SHALL BE PAINT GRADE UNLESS NOTED OTHERWISE.

FINAL BASE AND CROWN MOULDING SELECTIONS WILL BE MADE BY CONTRACTOR/OWNER.

ALL CLOSETS TO BE FINISHED SAME AS ADJACENT ROOM UNLESS OTHERWISE NOTED.

## FLASHING:

ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE FULLY CAULKED AND SEALED.

ROOF FLASHING AT VERTICAL WALL JUNCTIONS BASE AND COUNTER FLASHINGS ARE REQUIRED WHERE ROOFING MATERIAL MEETS WALLS. FORM FLASHING WITH A 4" MIN. TURN-UP AGAINST THE WALL AND FORM HORIZONTAL LEG 6" MIN. AWAY FROM THE WALL. BASE FLASHINGS SHOULD BE FASTENED TO THE SHEATHING TO PREVENT SLIPPAGE. "RAKE" COUNTER FLASHING ALONG WALL AS REQUIRED PER SIDING CONDITION. FLASHING SHALL BE MINIMUM 26 GAGE GALVANIZED SHEET METAL.

ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED BY AN UNDERLAYMENT OF ONE LAYER OF "TYVEK" BUILDING WRAP BY "DUPONT" OR EQUAL OVER EXTERIOR SHEAR WALL SHEATHING. INSTALL PER MANUFACTURERS INSTRUCTIONS.

## INSULATION:

FIBERGLASS BATT INSULATION SHALL BE INSTALLED THROUGHOUT THE BUILDING ENVELOPE IN ACCORDANCE WITH THE FOLLOWING:

FLAT CEILINGS WITH ATTICS OVER HEATED SPACES R-49  
EXTERIOR WALLS AT HEATED SPACES R-19  
PERIMETER SLAB SHALL BE INSULATED WITH 1.5" R-MAX R-10

## CARPENTRY

ALL WOOD WITHIN 6" OF GROUND SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.

PLYWOOD SHOULD BE INSTALLED WITH 1/8" SPACING AT ALL END AND EDGE JOINTS UNLESS OTHERWISE INDICATED BY PANEL MANUFACTURER.

ALWAYS STAGGER END JOINTS WHEN INSTALLING PLYWOOD OR O.S.B. PANELS. WHEN GLUING A PLYWOOD OR O.S.B. FLOOR SYSTEM SPREAD ENOUGH GLUE TO LAY ONLY 1 OR 2 PANELS AT A TIME. TO INSURE PANELS WILL BE FIRMLY AND PERMANENTLY SECURED TO JOISTS, WIPE AWAY WATER, DUST AND DEBRIS BEFORE APPLYING GLUE.

APPLY GLUE IN A 1/4" DIAMETER BEAD TO FRAMING MEMBER IN A CONTINUOUS LINE, OR A SERPENTINE PATTERN IN WIDE AREAS.

COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS OR SKINS OVER.

CONCRETE WALLS PIERS OR COLUMNS SHALL SET AT LEAST 2 DAYS BEFORE PLACING BEAMS, POSTS, SLABS SUPPORTED THEREON.

CONTRACTOR/OWNER MUST COORDINATE ALL PLUMBING, MECHANICAL AND ELECTRICAL ROUGH OPENING REQUIREMENTS WITH FRAMING AND FINISHES TO ALLOW FOR PROPER CLEARANCES.

INSTALLATION OF ALL RELATED EQUIPMENT AND FIXTURES ACCORDINGLY. DIMENSIONS SHOWN ON DRAWINGS MUST BE COORDINATED AND ADJUSTED ACCORDINGLY (I.E. ROUGH IN FOR TUBS).

# VICINITY MAP



# WILDLAND URBAN INTERFACE INFORMATION

FIRE HAZARD SEVERITY:	LOW
WATER SUPPLY:	CONFORMING
REQUIRED DEFENSIBLE SPACE:	30'

IGNITION RESISTANT CONSTRUCTION FOR NONCONFORMING IS: IR3

1.5X DEFENSIBLE SPACE USED TO REDUCE IGNITION RESISTANT CONST. TO: NOT REQ'D

ALL CONSTRUCTION TO COMPLY WITH CHAPTER 5 OF THE WILDLAND URBAN INTERFACE GUIDE FOR CLASS 3 IGNITION RESISTANT CONSTRUCTION.

SITE SHALL COMPLY WITH CHAPTER 6 OF THE WILDLAND URBAN INTERFACE GUIDE FOR DEFENSIBLE SPACE

IR3 SHALL HAVE FIRE RESISTIVE CONSTRUCTION BELOW

ROOFS CLASS C: ROOF EDGE GAPS FIRE STOPPED, 26 GAGE VALLEY FLASHING

UNCLOSED UNDERFLOOR: ENCLOSED TO GROUND, 1 HOUR FRC, HEAVY TIMBER FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE.

GUTTERS: NON-COMBUSTIBLE MATERIAL, PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

# DRAWING INDEX

- 1 TITLE SHEET / GENERAL NOTES
- 2 SITE PLAN
- 3 AS-BUILT FLOOR PLAN
- 4 EXTERIOR ELEVATIONS
- 5 FOUNDATION PLAN
- 6 STRUCTURAL FLOOR PLAN
- 7 FLOOR PLAN
- 8 ROOF FRAMING PLAN
- 9 SECTION A
- 10 ELECTRICAL PLAN
- 11 HCAP ACCESS
- 61 STRUCTURAL SPECIFICATIONS
- 62 STANDARD DETAILS
- 63 STRUCTURAL DETAILS

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.330 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.  
I AM RESPONSIBLE FOR THE DESIGN, PREPARATION AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE WET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

**FINCH CONSTRUCTION COMPANY INC**  
SARA P FINCH, President  
1864 PAINTED DESERT DRIVE  
MINDEN, NEVADA 89423  
LICENSE #80723  
EXPIRES 12/31/2019  
PH: (775) 671-7175

CLASSROOM ADDITION for DISCOVERIES PRESCHOOL  
253 EGYPTIAN DRIVE - SPARKS, NV 89441

TITLE SHEET  
GENERAL NOTES

REVISIONS:

SHEET:

1

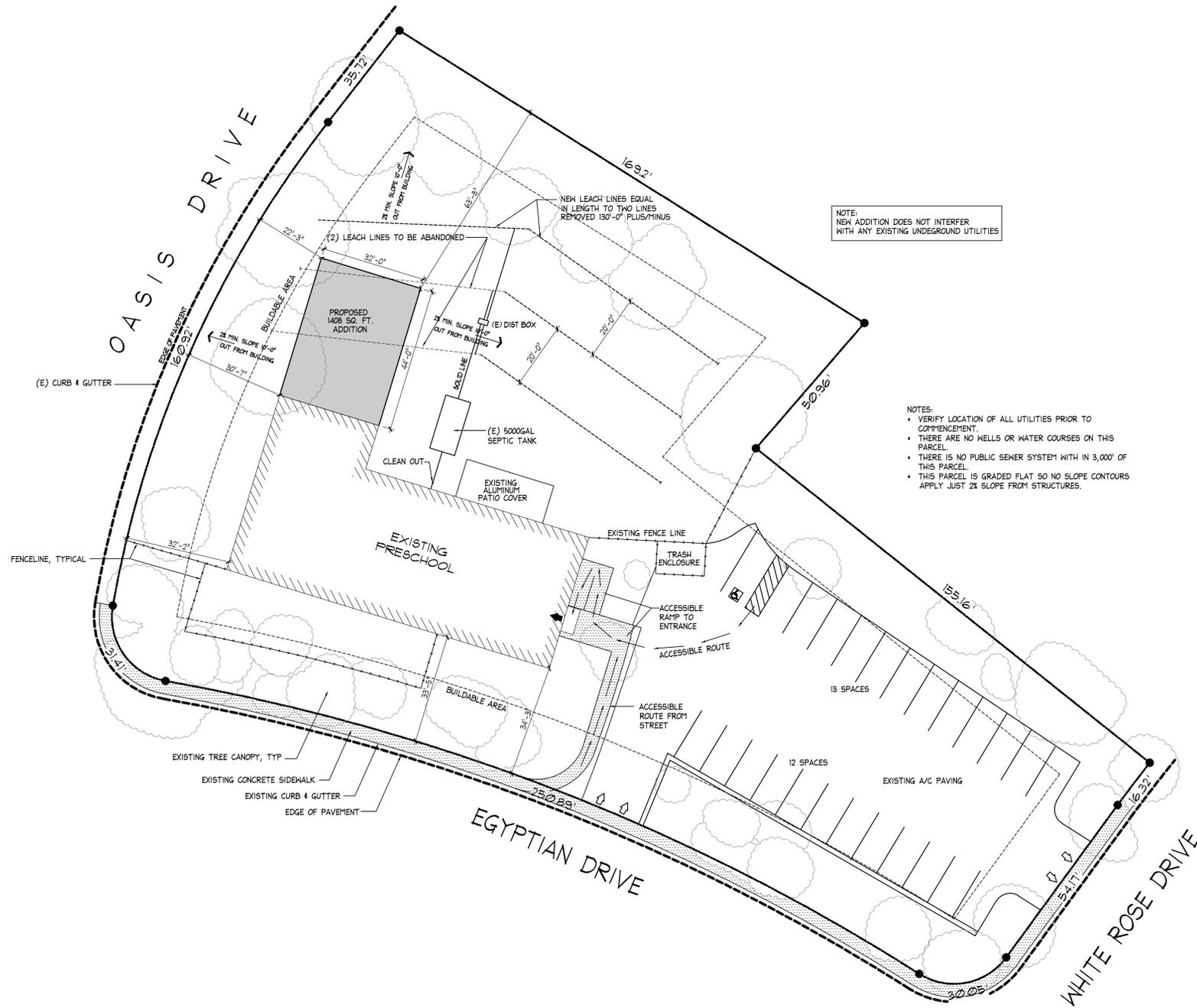
JOB #:

CHECKED BY: SF

DATE: 4/27/18



Know what's below.  
Call before you dig.



NOTE:  
NEW ADDITION DOES NOT INTERFERE  
WITH ANY EXISTING UNDERGROUND UTILITIES

- NOTES:
- VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT.
  - THERE ARE NO WELLS OR WATER COURSES ON THIS PARCEL.
  - THERE IS NO PUBLIC SEWER SYSTEM WITH IN 3,000' OF THIS PARCEL.
  - THIS PARCEL IS GRADED FLAT SO NO SLOPE CONTOURS APPLY JUST 2% SLOPE FROM STRUCTURES.

## SITE PLAN

PTN. SEC. , T.2IN., R.20E.,M.D.B. & M.

A.P.N. 089-432-08

SUBDIVISION UNSPECIFIED

LOT #1

ACREAGE 1.047 ACRES

ZONING MDS

SETBACKS:                   FRONT - 20'  
  SIDES - 8'  
  REAR - 20'

PHYSICAL ADDRESS:

253 EGYPTIAN DRIVE  
SPARKS, NV 89441

1408 SQUARE FOOT CLASSROOM ADDITION

NO SURVEY PROVIDED  
THIS SITE PLAN IS PROVIDED FOR  
THE LOCATION OF THE PROJECT FOR  
CONSTRUCTION PURPOSES ONLY.  
THIS IS NOT A GRADING PLAN.

### LOT AREAS

LOT SIZE:	1.047 ACRES
TOTAL PAVING/CONCRETE:	10,786'
TOTAL LANDSCAPING:	9,394'
TOTAL FENCED PLAY AREA:	20,108'

## SITE PLAN

SCALE: 1" = 20'-0"



FINCH CONSTRUCTION  
COMPANY INC

SARA P FINCH, President  
LICENSE #80723  
1864 PAINTED DESERT DRIVE  
MINDEN, NEVADA 89423  
EXPIRES 12/31/2019  
PH: (775) 871-7175

CLASSROOM ADDITION for DISCOVERIES PRESCHOOL  
253 EGYPTIAN DRIVE - SPARKS, NV 89441

### SITE PLAN

PARCEL 1 OF PARCEL MAP #2627 FOR  
LEPORI CHILD CARE CENTER, FILES B/2692 AS DOC #159945  
APT. 089-432-08

REVISIONS:

SHEET:

2

JOB #:

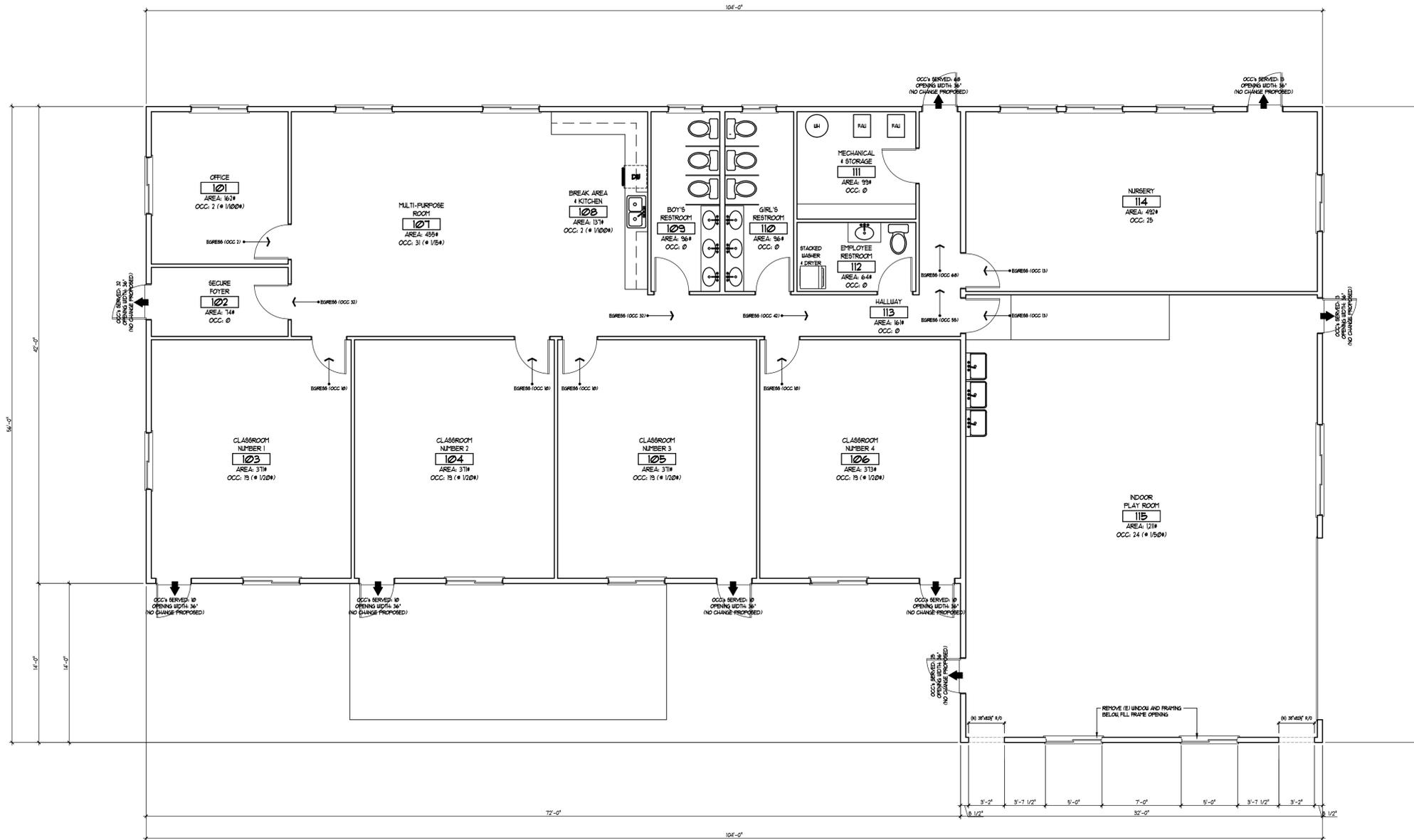
CHECKED BY: SF

DATE: 4/27/18

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO  
NRS CHAPTER 645B IN SECTION 645B.03(1) AND WORK UNDER THE CONTRACTORS  
LICENSE CATEGORY AUTHORIZED UNDER NRS 645.  
I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON  
THESE PLANS. I AM A REGISTERED PROFESSIONAL ENGINEER  
WHOSE VET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

QUALIFIED INDIVIDUAL

DATE



**AS-BUILT FLOOR PLAN**

SCALE: 1/4" = 1'-0"

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN INSTRUMENT TO THE PROFESSIONAL ENGINEER FOR HIS REVIEW AND SEAL. THE CONTRACTOR IS RESPONSIBLE TO HIS CLIENT FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONTRACTOR. I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE VET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

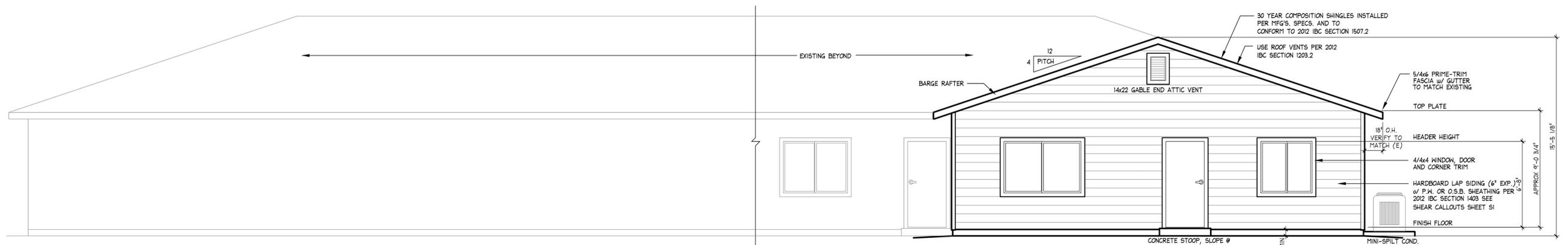
**FINCH CONSTRUCTION COMPANY INC**

SARA P. FINCH, President  
 1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423  
 LICENSE #80723  
 EXPIRES 12/31/2019  
 PH: (775) 671-7175

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL  
 AS-BUILT FLOOR PLAN**

REVISIONS:  
 SHEET: **3**  
 JOB #:  
 CHECKED BY: SF  
 DATE: 4/27/18

QUALIFIED INDIVIDUAL  
 DATE

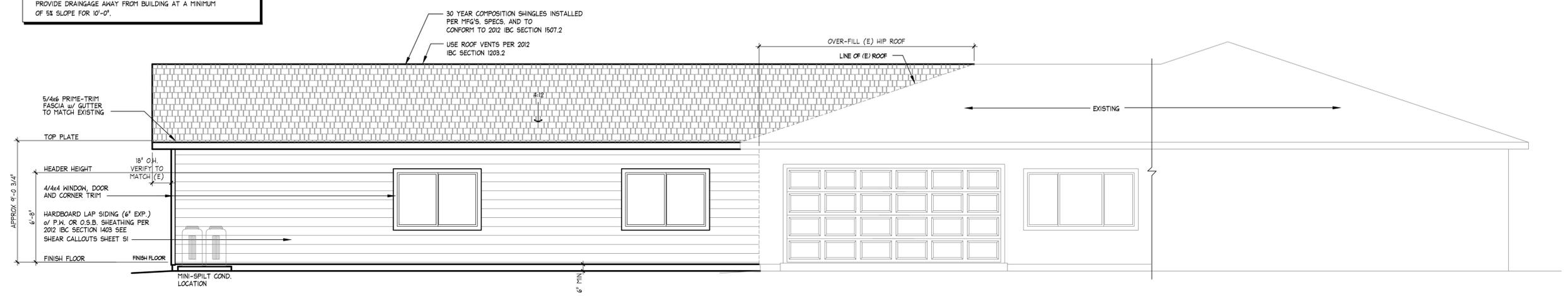


**ATTIC VENTILATION**  
 ATTIC VENTILATION PER 2012 IBC SECTION 1203.2 USE GABLE END VENTS, ROOF JACKS, AND EAVE VENTS.

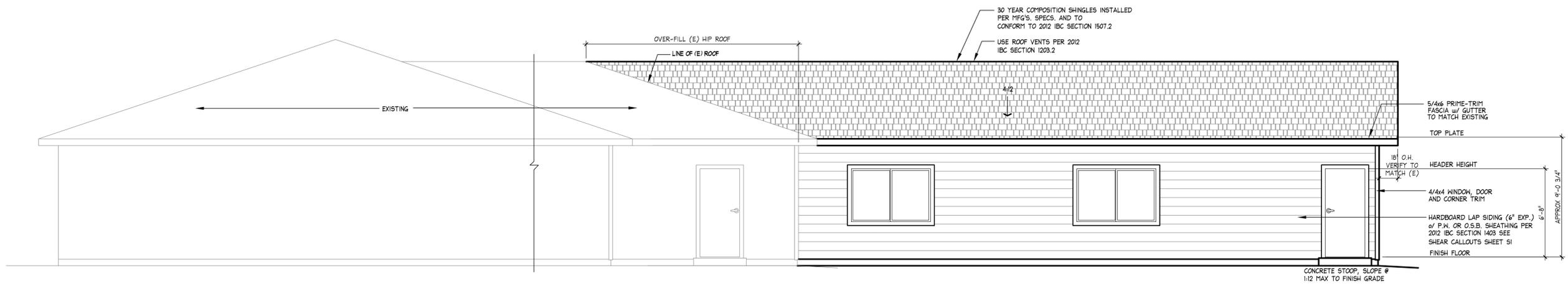
**DRAINAGE**  
 PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'-0\"/>

EXIT DOORS SHALL NOT REQUIRE MORE THAN ONE OPERATION TO UNLATCH AS EXACT DOOR HARDWARE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER 2012 IBC 1008.6

**NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

EXIT DOORS SHALL NOT REQUIRE MORE THAN ONE OPERATION TO UNLATCH AS EXACT DOOR HARDWARE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER 2012 IBC 1008.6

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.330 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.  
 I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE WET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

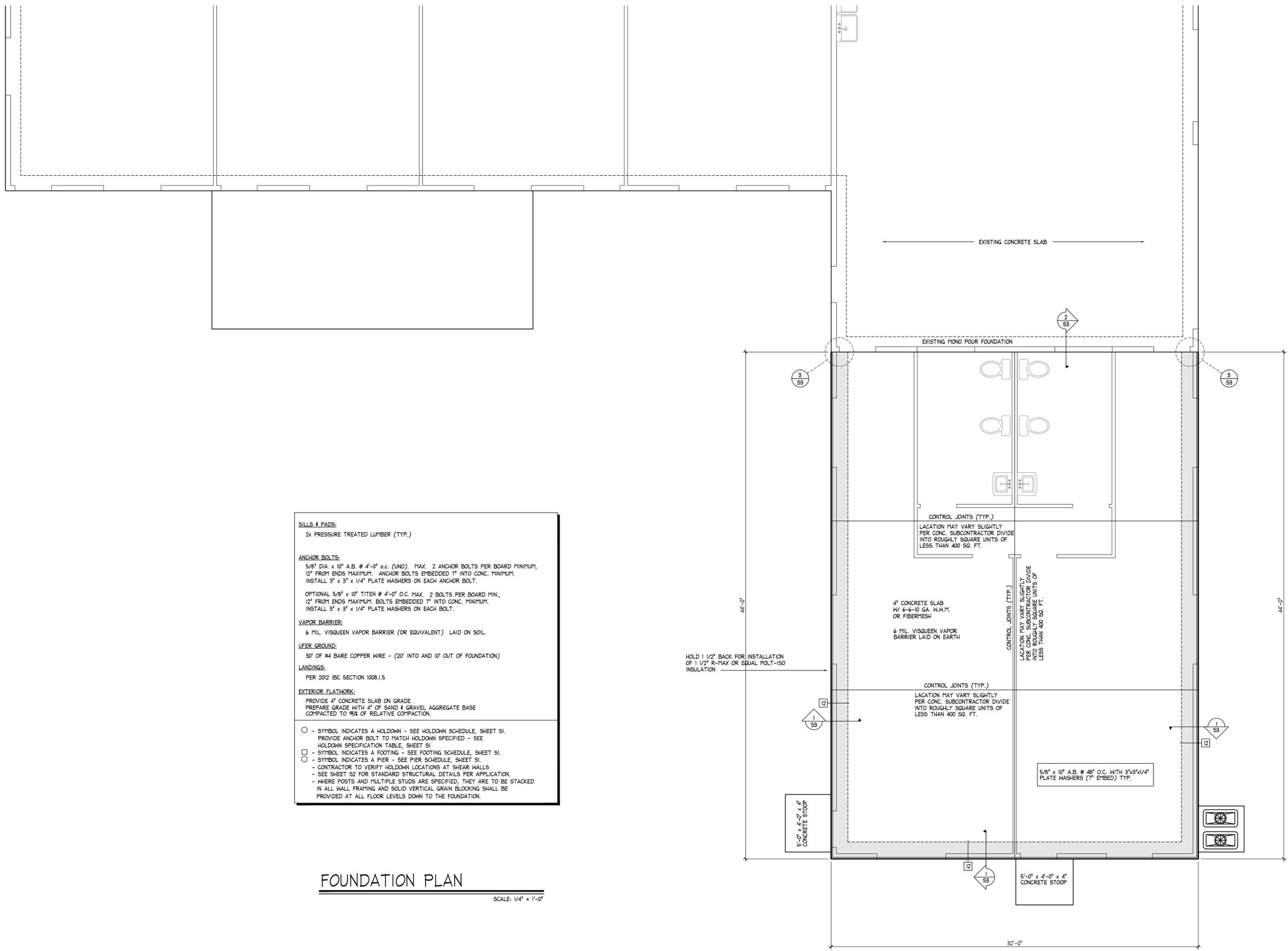
QUALIFIED INDIVIDUAL \_\_\_\_\_ DATE \_\_\_\_\_

**FINCH CONSTRUCTION COMPANY INC**  
 SARA P FINCH, President  
 LICENSE #07023  
 EXPIRES 12/31/2019  
 1864 PAINTED DESERT DRIVE  
 PH: (775) 671-7175  
 MINDEN, NEVADA 89423

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 RAISEL 1 OF RAISEL LAMP 0827 FOS  
 LEOPORI CHILD CARE CENTER FILES 8/26/02 AS DOC #159845  
 APR. 088-432-05

**EXTERIOR ELEVATIONS**

REVISIONS:
SHEET:
<b>4</b>
JOB #:
CHECKED BY: SF
DATE: 4/27/18



**SILLS & PADS:**  
2x PRESSURE TREATED LUMBER (TYP.)

**ANCHOR BOLTS:**  
5/8" DIA. x 10" A.B. @ 4'-0" o.c. (UNO). MAX. 2 ANCHOR BOLTS PER BOARD MINIMUM, 12" FROM ENDS MAXIMUM. ANCHOR BOLTS EMBEDDED 7" INTO CONC. MINIMUM. INSTALL 3" x 3" x 1/4" PLATE WASHERS ON EACH ANCHOR BOLT.

OPTIONAL 5/8" x 10" TITEN @ 4'-0" O.C. MAX. 2 BOLTS PER BOARD MIN., 12" FROM ENDS MAXIMUM. BOLTS EMBEDDED 7" INTO CONC. MINIMUM. INSTALL 3" x 3" x 1/4" PLATE WASHERS ON EACH BOLT.

**VAPOR BARRIER:**  
6 MIL. VISQUEEN VAPOR BARRIER (OR EQUIVALENT) LAID ON SOIL.

**UFER GROUND:**  
30' OF #4 BARE COPPER WIRE - (20' INTO AND 10' OUT OF FOUNDATION)

**LANDINGS:**  
PER 2012 IBC SECTION 1008.1.5

**EXTERIOR FLATWORK:**  
PROVIDE 4" CONCRETE SLAB ON GRADE.  
PREPARE GRADE WITH 4" OF SAND & GRAVEL AGGREGATE BASE COMPACTED TO 95% OF RELATIVE COMPACTION.

○ - SYMBOL INDICATES A HOLD-DOWN - SEE HOLD-DOWN SCHEDULE, SHEET S1.  
PROVIDE ANCHOR BOLT TO MATCH HOLD-DOWN SPECIFIED - SEE HOLD-DOWN SPECIFICATION TABLE, SHEET S1

□ - SYMBOL INDICATES A FOOTING - SEE FOOTING SCHEDULE, SHEET S1.

○ - SYMBOL INDICATES A PIER - SEE PIER SCHEDULE, SHEET S1.

- CONTRACTOR TO VERIFY HOLD-DOWN LOCATIONS AT SHEAR WALLS  
- SEE SHEET S2 FOR STANDARD STRUCTURAL DETAILS PER APPLICATION  
- WHERE POSTS AND MULTIPLE STUDS ARE SPECIFIED, THEY ARE TO BE STACKED IN ALL WALL FRAMING AND SOLID VERTICAL GRAIN BLOCKING SHALL BE PROVIDED AT ALL FLOOR LEVELS DOWN TO THE FOUNDATION.

**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

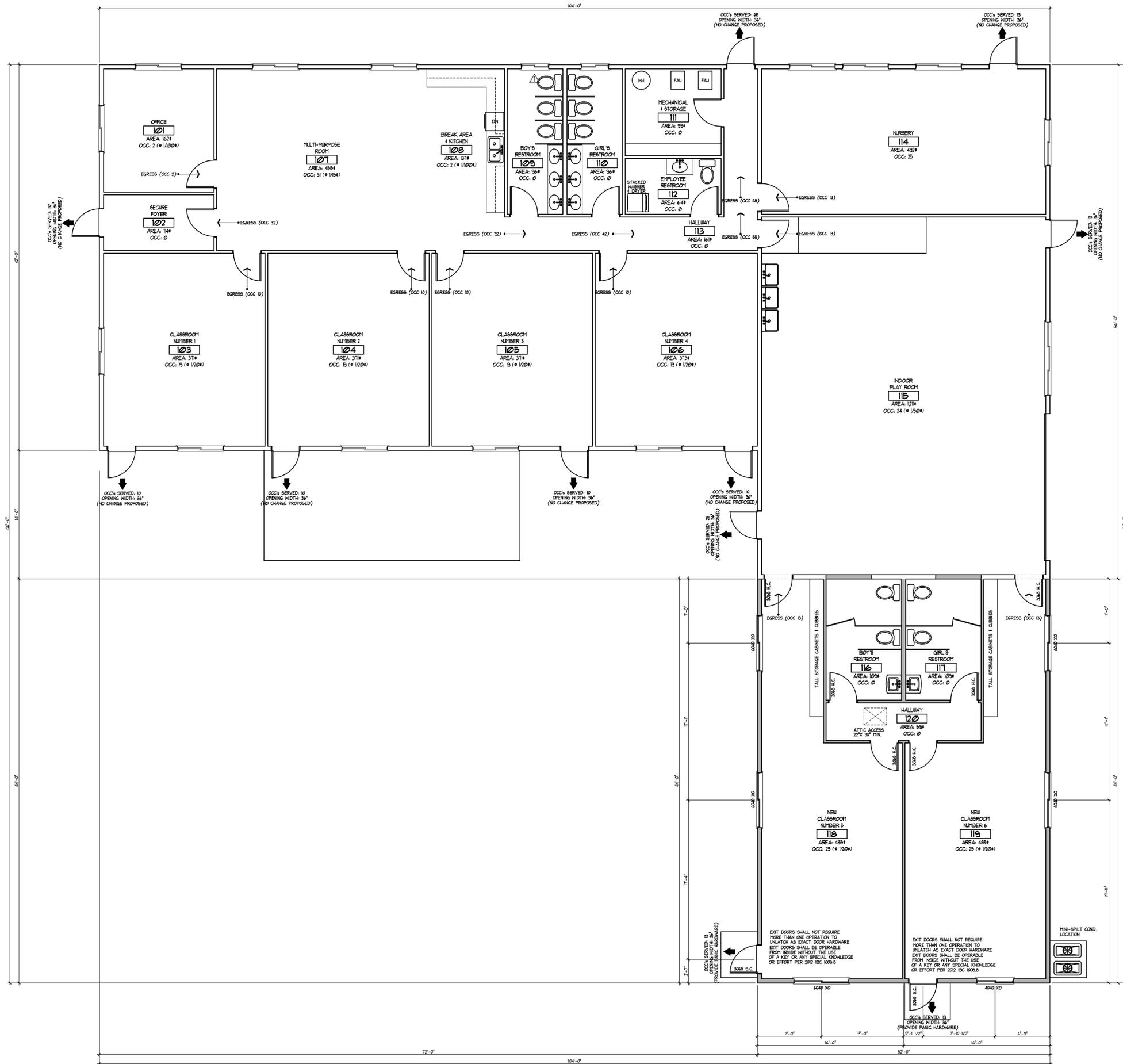
**FINCH CONSTRUCTION COMPANY INC**  
 LICENSE #80723  
 EXPIRES 12/31/2019  
 PH: (775) 671-7175  
 SARA P. FINCH, President  
 1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 203 E. HUNTER DRIVE, SPARKS, NV 89441  
**FOUNDATION PLAN**  
 PARCEL LOT PARCEL MAP #0027 FOR LEFORS CHILD CARE CENTER, FILES 8/26/02 AS DOC #1599945  
 APN: 009-432-08

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.330 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.  
 I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL PORTION THEREOF AS PERMITTED BY THE ENGINEER WHOSE NET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

QUALIFIED INDIVIDUAL \_\_\_\_\_ DATE \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 SHEET: **5**  
 JOB #: \_\_\_\_\_  
 CHECKED BY: RV  
 DATE: 4/27/18



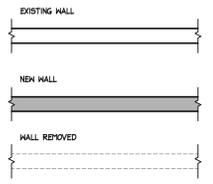


NOTES:  
 ALL WORK & MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2012 IBC AND ALL LOCAL GOVERNING CODES, REGULATIONS, AND ORDINANCES.  
 ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS OTHERWISE NOTED.  
 MEASUREMENTS ARE TO STUD FACE UNLESS OTHERWISE NOTED.  
 JOINTS & PENETRATIONS SHALL BE CALKED & SEALED - PROVIDE WEATHER STRIPPING AROUND DOORS AND WINDOWS.  
 SAFETY GLAZING MUST BE USED IN ALL HAZARDOUS AREAS PER 2012 IBC.  
 PROVIDE LIGHT AND VENTILATION PER 2012 IBC.  
 PROVIDE LANDINGS PER 2012 IBC.  
 ALL SOLDERS & FLUXES SHALL BE MANUFACTURED TO APPROVED STANDARDS. SOLDERS & FLUXES WITH A LEAD CONTENT WHICH EXCEEDS TWO-TENTHS (0.20) OF ONE PERCENT (1%) ARE PROHIBITED IN PIPING SYSTEMS USED TO CONVEY POTABLE WATER.  
 ALL PIPING SERVING PART OF A HOT WATER SYSTEM INSTALLED IN UNCONDITIONED AREAS SHALL BE PROTECTED WITH MIN. R-2 INSULATION. INSULATION SHALL BE INSTALLED CONTINUOUSLY FROM WITHIN 2 FEET OF WATER HEATER TO WITHIN 2 FEET OF THE FIXTURE OUTLET. OMISSION OF INSULATION PASSING THROUGH A RESTRICTED OPENING IN FRAMING MEMBERS IS ALLOWED PER DOUGLAS COUNTY TITLE 20.

**HABITABLE SPACE & OCCUPANT LOAD**

ROOM #	ROOM NAME	HABITABLE SPACE	OCCUPANCY TYPE	OCCUPANT LOAD
101	OFFICE	674	Business	2
102	SECURE FOYER	744	Accessory Area	0
103	CLASSROOM #1	378	Classroom	18
104	CLASSROOM #2	378	Classroom	18
105	CLASSROOM #3	378	Classroom	18
106	CLASSROOM #4	378	Classroom	18
107	MULTI-PURPOSE ROOM	454	Accessory Area	0
108	BREAK AREA	134	Business	0
109	BOY'S RESTROOM	364	Accessory Area	0
110	GIRL'S RESTROOM	364	Accessory Area	0
111	MECHANICAL & STORAGE	364	Accessory Area	0
112	EMPLOYEE RESTROOM	644	Accessory Area	0
113	HALLWAY	434	Accessory Area	0
114	NURSERY	434	Classroom	24
115	INDOOR PLAY ROOM	1214	Classroom	24
118	NEW CLASSROOM NUMBER 5	489	Accessory Area	0
119	NEW CLASSROOM NUMBER 6	489	Accessory Area	0
120	HALLWAY	634	Accessory Area	0
121	BOY'S RESTROOM	109	Accessory Area	0
122	GIRL'S RESTROOM	109	Accessory Area	0
123	MECHANICAL & STORAGE	489	Accessory Area	0
124	HALLWAY	634	Accessory Area	0
TOTALS		4434		84
		1284		24
		5718		108

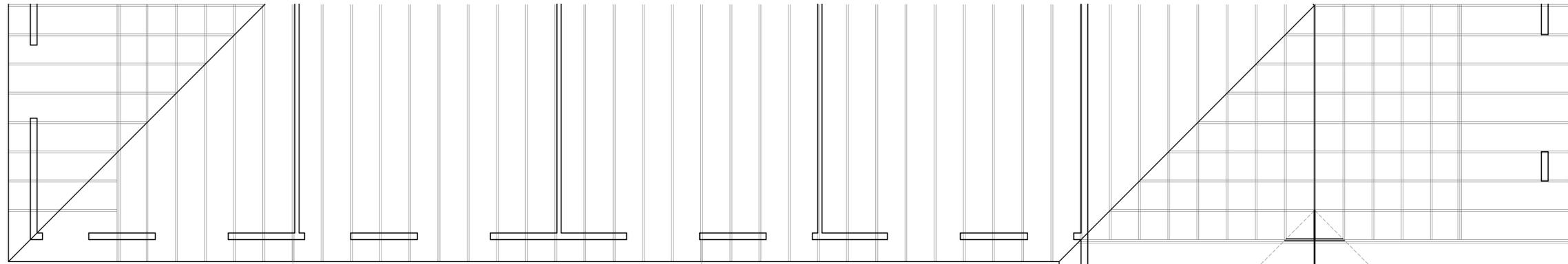
**LEGEND**



**FLOOR PLAN**

1/4" = 1'-0" SCALE: 3/16" = 1'-0"

FINCH CONSTRUCTION COMPANY INC  
 LICENSE #80723  
 EXPIRES 12/31/2019  
 PH: (775) 671-7175  
 SARA P FINCH, President  
 1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423  
 CLASSROOM ADDITION to DISCOVERIES PRESCHOOL  
 250 EGYPTIAN DRIVE, SPARKS, NV 89441  
 FLOOR PLAN  
 PARCEL LOT OF PARCEL MAP #2027 FOR LEFORS CHILD CARE CENTER, AS SHOWN AS DOC #1559945  
 APN: 089-432-08  
 REVISIONS:  
 SHEET: **7**  
 JOB #:  
 CHECKED BY: SF  
 DATE: 4/27/18  
 THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION R23.30 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.  
 I AM RESPONSIBLE FOR THE DESIGN, PREPARATION AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE WET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.  
 QUALIFIED INDIVIDUAL  
 DATE



**ATTIC VENTILATION CALCULATIONS:**  
 1408 SQ. FT. = 9.4 SQ. FT. OF REQUIRED VENTILATION  
 150

PROVIDED A MINIMUM OF 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS PROVIDE 4.7 SQ. FT. OF VENTILATION AT OR NEAR RIDGE. PROVIDE 4.7 SQ. FT. OF VENTILATION AT EAVE LINE.

ATTIC VENTILATION PER 2012 IBC SECTION R1023.2  
 NOTE: THE VENTILATING AREA MAY BE 1/300 OF THE AREA OF SPACE VENTILATED PROVIDED A VAPOR RETARDER IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION

**ROOFING:**  
 COMPOSITION SHINGLES INSTALL PER MANUFACTURER'S SPECIFICATIONS AND 2012 IBC SECTION 1507.2, OVER UNDERLAYMENT PER TABLE 1507.2

**SHEATHING:**  
 1/2" CDX PLYWOOD (OR EQUAL) EXPOSURE 1, APA SPAN RATED ( 32/16 ). STAGGER JOINTS - NAIL WITH 8d COMMON PER 2012 IBC TABLE 2306.3.1, UNO.

**TRUSSES:**  
 PRE-MANUFACTURED ENGINEERED TRUSSES @ 24' o.c.  
 PROVIDE 2x STUD PER TRUSS PLY @ ALL GIRDER BRG. POINTS, U.N.O. DOWN TO HEADER OR SOLE PLATE. SOLID VERTICAL BLOCK AT FLOOR SYSTEM. STACK IN WALL FRAMING IN ALL LEVELS DOWN TO FOUNDATION.  
 NOTE: SEE TRUSS CALCULATIONS FOR TRUSS DESCRIPTIONS

**FILL SECTIONS:**  
 RIDGE 2x6 DF #2 OR BETTER  
 RAFTERS 2x6 DF #2  
 VALLEY KICKER 2x6 DF

**HEADERS:**  
 6x6 D.F. #1 (TYPICAL UNLESS OTHERWISE NOTED)

**TRIMMERS:**  
 DOUBLE TRIMMERS AT OPENINGS GREATER THAN 6'-0"  
 DOUBLE KING STUDS AT OPENINGS GREATER THAN 8'-0"

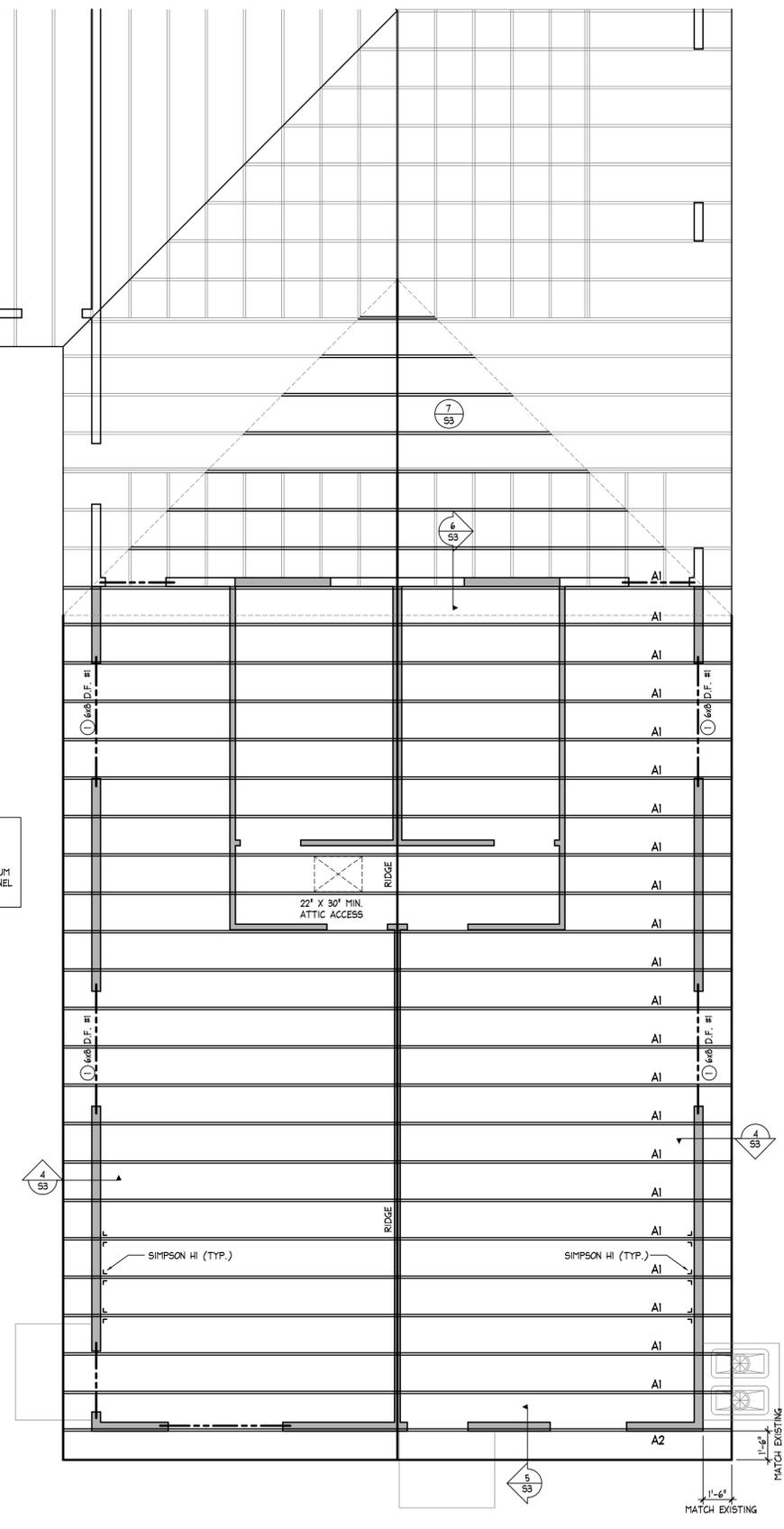
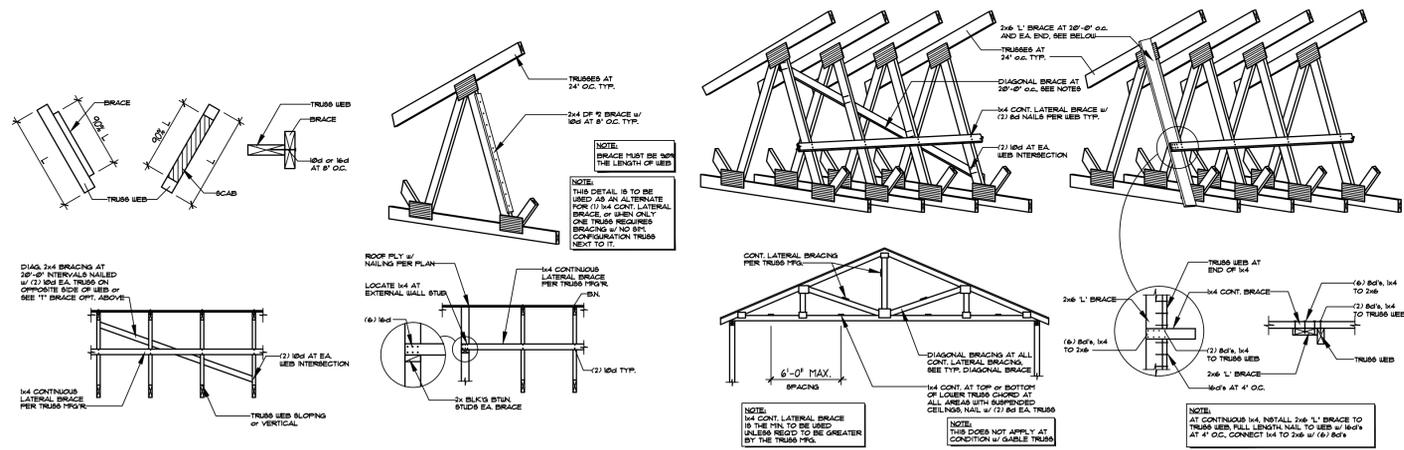
**METAL CONNECTORS:**  
 TRUSS HANGERS PER MANUFACTURERS  
 SIMPSON HI CLIPS @ ALL TRUSS BEARING POINTS ON PLATES & BEAMS  
 SIMPSON H3 CLIPS (O/S) @ ALL RAFTER BEARING POINTS ON PLATES & BEAMS  
 SIMPSON H5 CLIPS (B/S) @ ALL GIRDER TRUSS BEARING POINTS, UNO.  
 SIMPSON PC & CC POST CAPS (AS NOTED)  
 SIMPSON ST, MST, & LSTA STRAPS (AS NOTED)

**OUTLOOKERS:**  
 2x4 D.F. #2 OUTLOOKERS AT 24" O.C.

**ATTIC ACCESS:**  
 22"x30" MIN. - PER 2012 IBC 1209.21

**STRUCTURAL ENGINEERING NOTES**  
 - SEE SHEET S2 FOR STANDARD STRUCTURAL DETAILS PER APPLICATION  
 - WHERE POSTS AND MULTIPLE STUDS ARE SPECIFIED, THEY ARE TO BE STACKED IN ALL WALL FRAMING AND SOLID VERTICAL GRAIN BLOCKING SHALL BE PROVIDED AT ALL FLOOR LEVELS DOWN TO THE FOUNDATION OR HEADOUT.  
 - CONTRACTOR TO PROVIDE TRUSS CALCS FOR REVIEW AND APPROVAL BY PROJECT ENGINEER. DO NOT CHANGE TRUSS MANUFACTURERS OR TRUSS LAYOUT SHOWN HERE WITHOUT THE APPROVAL OF THIS PROJECT ENGINEER.  
 - CONTRACTOR TO VERIFY TRUSS SPANS, DEFLECTIONS, PROFILES, CONNECTIONS, ETC. WITH TRUSS MANUFACTURER PRIOR TO CONSTRUCTION. DO NOT DEVIATE FROM HANGERS SPECIFIED ON PLANS UNLESS VERIFIED BY PROJECT ENGINEER.

NOTE:  
 DRAFT STOPS PER 2012 IBC SECTION 717.4  
 ANY HORIZONTAL AREA CANNOT EXCEED  
 3,000 SQ. FT. PER 2012 IBC SECTION 717.3.1.  
 DRAFTSTOPPING MATERIALS SHALL BE MINIMUM  
 1/2" GYPSUM OR 3/8" WOOD STRUCTURAL PANEL  
 ADEQUATELY SUPPORTED



THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.339 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.

I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS. OTHER THAN AN ARCHITECTURAL DESIGNER OR REGISTERED ENGINEER WHOSE VET. SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

QUALIFIED INDIVIDUAL \_\_\_\_\_ DATE \_\_\_\_\_

**FINCH CONSTRUCTION COMPANY INC**

SARA P FINCH, President  
 LICENSE #60723  
 EXPIRES 12/31/2019  
 PH: (775) 671-7175

1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 203 E. GUYTON BLVD. SPARKS, NV 89441

**ROOF FRAMING PLAN**

REVISIONS:

SHEET: **8**

JOB #:

CHECKED BY: RV

DATE: 4/27/18

PARCEL 1 OF PARCEL MAP #2027 FOR LEFORS CHILD CARE CENTER, FILES 8/26/92 AS DOC # 1599945 APN: 009-152-008

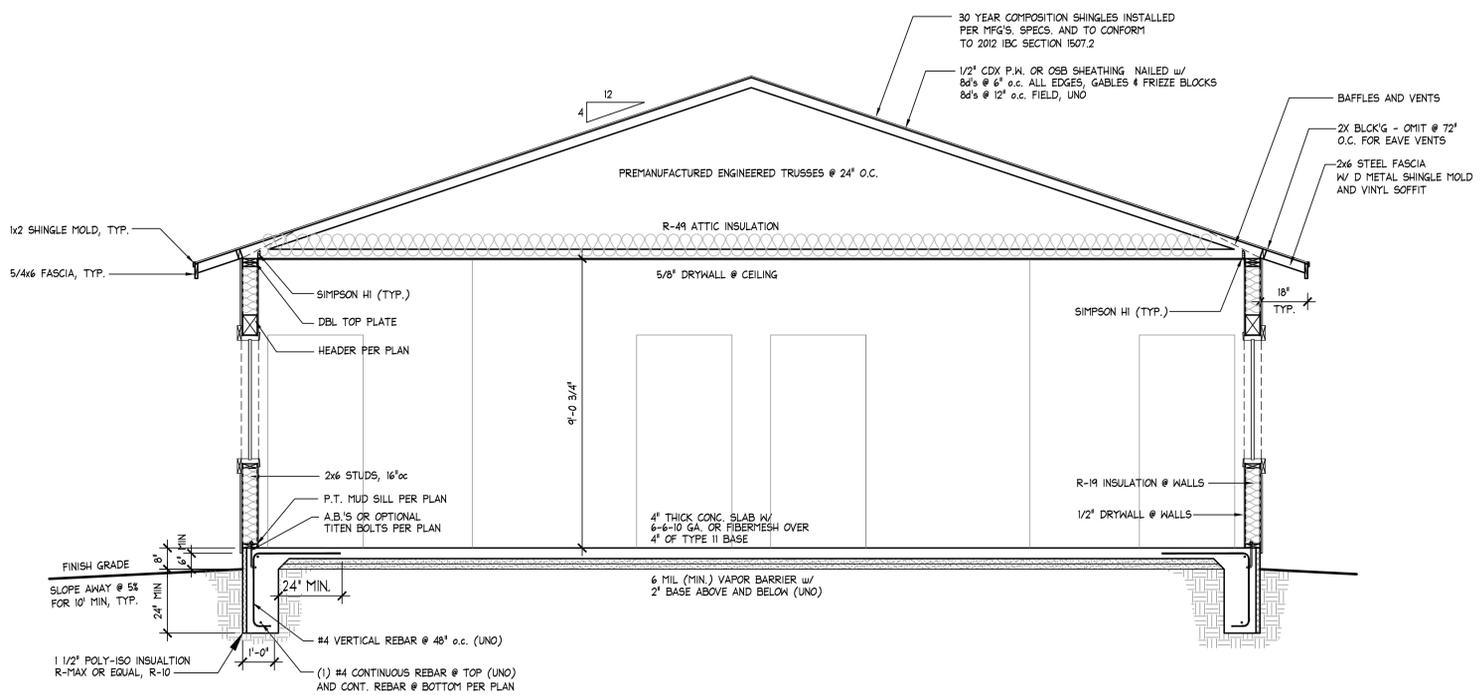
THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.030 FOR WORK UNDER THE CONTRACTORS LICENSE CATEGORY AUTHORIZED UNDER NRS 624.  
 I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS. MY PROFESSIONAL SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

**FINCHI CONSTRUCTION COMPANY INC**  
 SARA P FINCH, President  
 LICENSE #60723  
 EXPIRES 12/31/2019  
 1864 PAINTED DESERT DRIVE  
 PH: (775) 671-7175  
 MINDEN, NEVADA 89423

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 203 ESTADAN DRIVE, SPARKS, NV 89441  
**SECTION - A**  
 PARCEL 1 OF PARCEL MAP #2027 FOR LEFOPHI CHILD CARE CENTER, FILES #20292 AS DOC #199945  
 APN: 089-432-08

REVISIONS:  
 SHEET: **9**  
 JOB #:  
 CHECKED BY: RV  
 DATE: 4/27/18

DATE  
 QUALIFIED INDIVIDUAL



**SECTION - A**  
 SCALE: 3/8" = 1'-0"

**ROOFING:**  
 COMPOSITION SHINGLES INSTALL PER MANUFACTURER'S SPECIFICATIONS AND 2012 IBC SECTION 1507.2, OVER 15# FELT OR BUILDING PAPER VAPOR BARRIER

**SHEATHING:**  
 1/2" CDX PLYWOOD (OR EQUAL) EXPOSURE 1, APA SPAN RATED ( 32/16 ). STAGGER JOINTS - NAIL WITH 8d @ 6" o.c. ALL EDGES, GABLE ENDS, AND FRIEZE BLOCKS. 8d @ 12" O.C. FIELD

**TRUSSES:**  
 PRE-MANUFACTURED ENGINEERED TRUSSES @ 24" o.c. PROVIDE 2x STUD PER TRUSS PLY @ ALL GIRDER BRG. POINTS, U.N.O. DOWN TO HEADER OR SOLE PLATE. SOLID VERTICAL BLOCK AT FLOOR SYSTEM. STACK IN WALL FRAMING IN ALL LEVELS DOWN TO FOUNDATION.  
 NOTE: SEE TRUSS CALCULATIONS FOR TRUSS DESCRIPTIONS

**OUTLOOKERS:**  
 2x4 D.F. #2 OUTLOOKERS AT 24" O.C.

**FILL SECTIONS:**  
 RIDGE 2x6 DF #2 OR BETTER  
 RAFTERS 2x6 DF #2  
 VALLEY KICKER 2x6 DF #2

**BEAMS:**  
**LVL's:**  
 ALL LVL'S SHALL HAVE Fb= 2800 PSI, Fv= 285 PSI, AND E=2.0x10<sup>6</sup> PSI MINIMUM UNLESS NOTED OTHERWISE NAIL MULTI-PLY LVL'S W/ (3) 16d'S @ 12" O.C.  
**PSL's:**  
 ALL PSL'S SHALL HAVE Fb= 2900 PSI, Fv= 290 PSI, AND E=2.0x10<sup>6</sup> PSI MINIMUM  
**G.L.B.'s:**  
 ALL G.L.B.'s TO BE 24F-V4 D.F. GLU-LAM. BEAMS EXPOSED TO THE WEATHER MUST BE RATED EXTERIOR, OR PROTECTED W/ APPROPRIATE FLASHING. ALL FLOOR BEAMS ARE RECOMMENDED TO BE ORDERED WITH ZERO CAMBER.

**HEADERS:**  
 6x6 DF #2 (TYPICAL UNLESS OTHERWISE NOTED)

**TRIMMERS:**  
 DOUBLE TRIMMERS AT OPENINGS GREATER THAN 4'-0"  
 DOUBLE KING STUDS AT OPENINGS GREATER THAN 8'-0"

**SIDING:**  
 MANUFACTURED SIDING INSTALLED PER MFG. SPECS. AND PER 2012 IBC SECTION 1403 AND VAPOR BARRIER. INSTALL VAPOR BARRIER PER 2012 IBC SECTION 1403.3 w/ 3/8" P.W. SHEATHING OR EQUIVALENT (SEE SHEAR CALLOUTS.)

**POSTS:**  
 DF (LOCATE AS NOTED)

**SILLS & PADS:**  
 2x PRESSURE TREATED LUMBER (TYP.)

**ANCHOR BOLTS:**  
 5/8" DIA x 10" A.B. @ 4'-0" o.c. (UNO). MAX. 2 ANCHOR BOLTS PER BOARD MINIMUM, 12" FROM ENDS MAXIMUM. ANCHOR BOLTS EMBEDDED 7" INTO CONC. MINIMUM. INSTALL 3" x 3" x 1/4" PLATE WASHERS ON EACH ANCHOR BOLT.  
 OPTIONAL 5/8" x 10" TITEN @ 4'-0" O.C. MAX. 2 BOLTS PER BOARD MIN., 12" FROM ENDS MAXIMUM. BOLTS EMBEDDED 7" INTO CONC. MINIMUM. INSTALL 3" x 3" x 1/4" PLATE WASHERS ON EACH BOLT.

**VAPOR BARRIER:**  
 6 MIL. VISQUEEN VAPOR BARRIER (OR EQUIVALENT) LAID ON SOIL.

**LANDINGS:**  
 PER 2012 IBC SECTION 1008.1.5

**CONCRETE SLABS:**  
 PROVIDE 4" CONCRETE SLAB ON GRADE WITH FIBERMESH OR 6" x 6" - 10 Ga. W.W.F. REINFORCEMENT. PREPARE GRADE WITH 4" OF SAND & GRAVEL AGGREGATE BASE COMPACTED TO 95% OF RELATIVE COMPACTION.  
 PROVIDE A PERIMETER & INTERIOR EXPANSION JOINTS AS REQUIRED, AND PROVIDE CONTROL JOINTS ON AN INCREMENTAL BASIS.

**EXTERIOR FLATWORK:**  
 PROVIDE 4" CONCRETE SLAB ON GRADE. PREPARE GRADE WITH 4" OF SAND & GRAVEL AGGREGATE BASE COMPACTED TO 95% OF RELATIVE COMPACTION.

**METAL CONNECTORS:**  
 ALL HANGERS SPECIFIED ARE SIMPSON STRONG TIE OR EQUIVALENT.

EXISTING 200 AMP MAIN PANEL w/ DISCONNECT  
 PLACE WALL RECEPTACLES @ 12" A.F.F. UNLESS OTHERWISE NOTED  
 WALL RECEPTACLES TO BE PLACED PER 2011 NEC, SEC. 210-52(a).  
 PROVIDE A SEPARATE 20 AMP SERVICE TO F.A.U.

**BATHROOMS**  
 ONE WALL RECEPTACLE OUTLET (MIN) SHALL BE INSTALLED ADJACENT TO THE BASIN.  
 ALL OUTLETS TO BE PROTECTED BY GROUND FAULT INTERRUPTERS PER 2011 NEC 210-8(a).  
 HANGING FIXTURES ARE NOT PERMITTED OVER A BATHTUB UNLESS 8'-0" CLEARANCE IS PROVIDED MEASURED FROM THE TUB RIM PER 2011 NEC 410-4(d).

**OUTDOOR OUTLETS**  
 OUTLETS SHALL CONFORM TO 2011 NEC, SEC. 210-8-2,3 (1) OUTLET MIN. SHALL BE LOCATED OUTDOORS.  
 ALL OUTLETS LOCATED OUTDOORS SHALL BE PROTECTED BY GROUND FAULT INTERRUPTERS.

**HEATING CIRCUIT**  
 PROVIDE (1) 20 AMP MIN. CIRCUIT FOR THE HEATING APPLIANCE. THE CIRCUIT SHALL HAVE NO OTHER OUTLETS. CONSULT HEATING EQUIPMENT NAME PLATE RATING AND WIRE ACCORDINGLY.

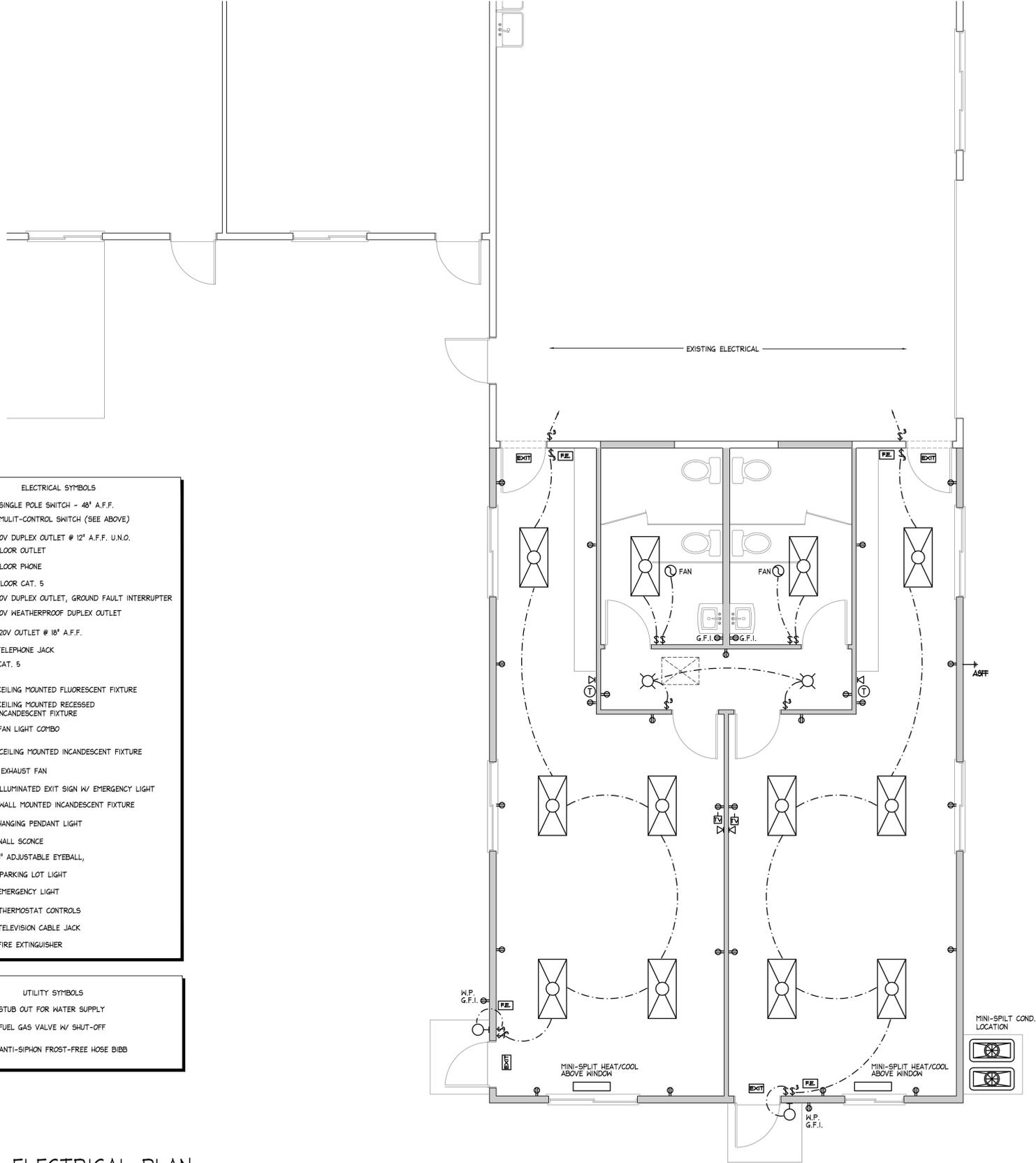
**ELECTRICAL CONNECTIONS**  
 ALL ALUMINUM CONDUCTORS SIZE 1/0 AND LARGER SHALL BE TERMINATED WITH A COMPRESSION TYPE CONNECTOR. AN OXIDATION INHIBITOR SHALL BE USED ON "ALL" ALUMINUM CONNECTIONS.

**BATHROOM VENTILATION**  
 ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH 2011 IBC 1209.4.2.1

NOTE:  
 SEE FIRE SPRINKLER DESIGN PROVIDED BY OTHERS

- ELECTRICAL SYMBOLS**
- Ⓢ SINGLE POLE SWITCH - 48" A.F.F.
  - ⓈⓈ MULT-CONTROL SWITCH (SEE ABOVE)
  - ⓈⓈ 110V DUPLEX OUTLET @ 12" A.F.F. U.N.O.
  - ⓈⓈ FLOOR OUTLET
  - ⓈⓈ FLOOR PHONE
  - ⓈⓈ FLOOR CAT. 5
  - ⓈⓈ 110V DUPLEX OUTLET, GROUND FAULT INTERRUPTER
  - ⓈⓈ 110V WEATHERPROOF DUPLEX OUTLET
  - ⓈⓈ 220V OUTLET @ 18" A.F.F.
  - ⓈⓈ TELEPHONE JACK
  - ⓈⓈ CAT. 5
  - ⓈⓈ CEILING MOUNTED FLUORESCENT FIXTURE
  - ⓈⓈ CEILING MOUNTED RECESSED INCANDESCENT FIXTURE
  - ⓈⓈ FAN LIGHT COMBO
  - ⓈⓈ CEILING MOUNTED INCANDESCENT FIXTURE
  - ⓈⓈ EXHAUST FAN
  - ⓈⓈ ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHT
  - ⓈⓈ WALL MOUNTED INCANDESCENT FIXTURE
  - ⓈⓈ HANGING PENDANT LIGHT
  - ⓈⓈ WALL SCONCE
  - ⓈⓈ 4" ADJUSTABLE EYEBALL,
  - ⓈⓈ PARKING LOT LIGHT
  - ⓈⓈ EMERGENCY LIGHT
  - ⓈⓈ THERMOSTAT CONTROLS
  - ⓈⓈ TELEVISION CABLE JACK
  - ⓈⓈ FIRE EXTINGUISHER

- UTILITY SYMBOLS**
- W STUB OUT FOR WATER SUPPLY
  - F.G. FUEL GAS VALVE W/ SHUT-OFF
  - A.S.F.F. ANTI-SIPHON FROST-FREE HOSE BIBB



**ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 624B AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE WET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

QUALIFIED INDIVIDUAL \_\_\_\_\_ DATE \_\_\_\_\_

**FINCH CONSTRUCTION COMPANY INC**

SARA P FINCH, President  
 1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423  
 LICENSE #80723  
 EXPIRES 12/31/2019  
 PH: (775) 671-7175

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 203 EGYPTIAN DRIVE, SPARKS, NV 89411

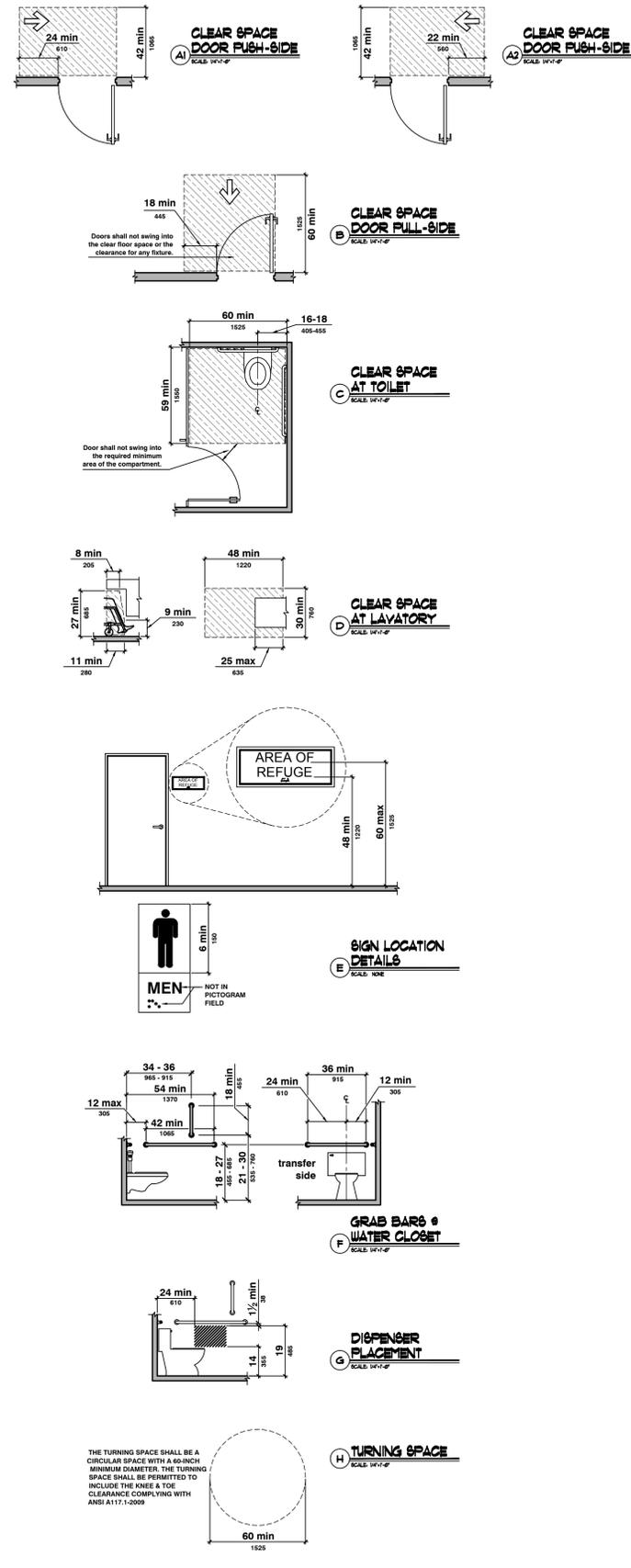
**ELECTRICAL PLAN**

PARCEL 1 OF PARCEL MAP #2827 FOR LEPORE CHILD CARE CENTER, FILES 826092 AS DOC #1999845 APN 089-452-08

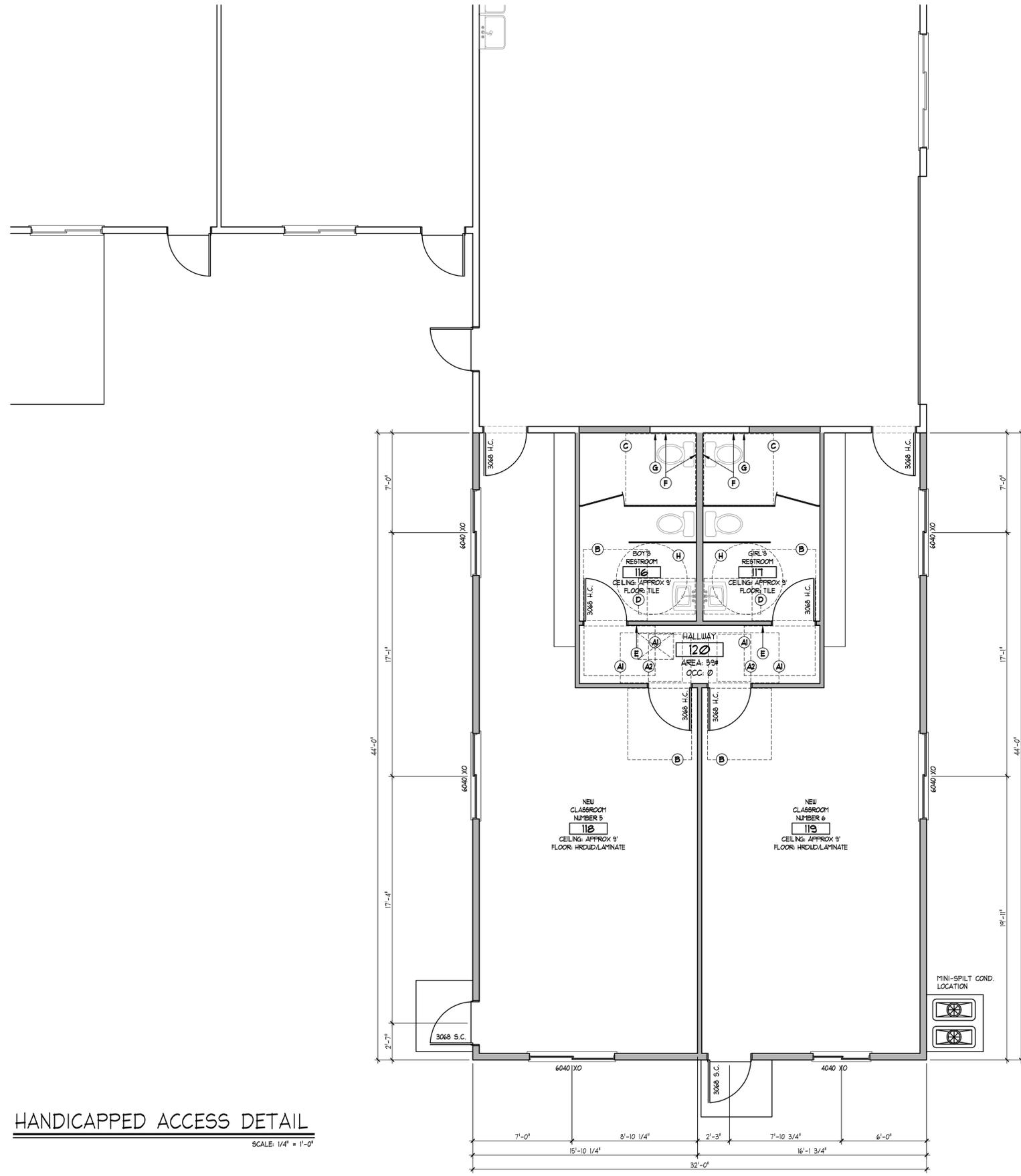
REVISIONS:

SHEET: **10**

JOB #:  
 CHECKED BY: SF  
 DATE: 4/27/18



**ACCESSIBILITY DETAILS**



THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO THIS CHAPTER OF THE NVS CHAPTER 630. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE WET SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

**FINCH CONSTRUCTION COMPANY INC**  
SARA P FINCH, President  
1864 PAINTED DESERT DRIVE  
MINDEN, NEVADA 89423  
LICENSE #80723  
EXPIRES 12/31/2019  
PH: (775) 871-7175

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
253 EGYPTIAN DRIVE, SPARKS, NV 89441  
**HANDICAPPED ACCESS DETAIL**  
PARCEL 1 OF PARCEL MAP #827 FOR LEPORI CHILD CARE CENTER, FILES B2682 AS DOC #1959845  
APP. 08/03/2018

REVISIONS:	
SHEET:	<b>11</b>
JOB #:	
CHECKED BY:	SF
DATE:	4/27/18

GENERAL CONSTRUCTION NOTES:

- 1. GENERAL
a) All work shall conform to the 2012 IBC and applicable local codes.
b) Where applicable, allowable stresses have been increased 15% (except Alpine and Placer counties) for snow, 33% seismic, and 33% for wind and seismic connections (timber).
c) All codes and standards shall be the most current edition as of the date of the calculations.

2. SITE WORK

- a) Assumed soil bearing pressure shall be determined in accordance with IBC Table 1804.2.
b) Building sites are assumed to be drained and free of clay or expansive soil. These calculations assume stable, undisturbed soils and level or stepped footings. Any other conditions should be reported to this Engineer.
c) Foundations shall bear on non-expansive native soil or compacted structural fill. Any loose fill in the bottom of the footing excavations shall be compacted to at least 90% relative compaction or removed to expose firm, unyielding material.

3. FILL & BACKFILL

- a) Fill material shall be free from debris, vegetation, and other foreign substances.
b) Backfill trenches shall be compacted to 90% density per ASTM D1557 to within 12" of finished grade. The top 12" shall be landscape fill.
c) Backfill at pipe trenches shall be compacted on both sides of pipe in 6" lifts.

4. CONCRETE / MASONRY

- a) Concrete shall have a minimum 28 day compressive strength of 2500 psi, unc. Alpine County shall have a minimum of 3000 psi for all concrete and 3500 psi for all slabs on grade, unc.
b) Concrete shall be air entrained to not less than 5% and not more than 1%.
c) All slabs on grade shall have a minimum thickness of 4" and be reinforced with 6x6x10W mesh at centerline as per ASTM A185, or with fibermesh as per manufacturers specifications, unc.

- m) Vertical steel placement in masonry stem walls to be #4 bars at 32" o.c. maximum spacing, unc.
n) Horizontal steel placement in masonry stem walls to be #4 bars at 24" o.c. maximum spacing, unc.
o) Reinforced concrete shall conform to applicable requirements of IBC and ACI Standards.
p) Aggregate shall conform to ASTM C33 for stone aggregate.
q) Use normal weight concrete (145 pcf) for all concrete, unc. Use Type II cement, unc. Use Type V cement if soil contains sulfate concentrations of 0.2% or more.

5. FRAMING / LUMBER

- a) Roof plywood thickness is per APA load tables based upon roof live load and framing spacing. Apply face grain perpendicular to framing, stagger panels and nail with 8d Per IBC Table 2306.3.1, unc.
b) Floor plywood shall be APA rated plywood and glued and nailed with 8d or 10d # 6' o.c. edge, 10' o.c. field, unc.
c) Plywood shall conform to APA, PS 1. Shear plywood shall be 'Exposure 1' C-D or C-C. Alternate sheathing may be substituted for floors, roofs, and shear walls provided they are structurally equivalent to plywood. Plywood permanently exposed to weather and/or moisture shall be rated 'Exterior'.

GENERAL CONSTRUCTION NOTES (CONT.):

- l) All framing lumber shall be Douglas Fir Larch with moisture content less than 19%, unc.
j) Glu-lams shall be 24F-V4 unc. Glu-lams exposed to weather must be rated for exterior use by the manufacturer or approved protection from exposure to be provided.
k) Micro-lams (laminated veneer lumber) and parallels (parallel strand lumber) specified shall have the following minimum design strength: 1 1/2" side / F=2600 psi, Fv=220 psi, E=1800,000 psi and 2-1/16" side / 1" up: F=2900 psi, Fv=230 psi, E=1,000,000 psi.
l) Splice all beams over supports or abutment top 1/3 at support (not a cantilever), unc.
m) Where multiple trimmers or studs are specified, those trimmers are to be stacked in all wall framing and solid vertical grain blocking shall be provided # all floor levels down to the foundation, unc.

6. HARDWARE / STRUCTURAL STEEL

- a) All hardware specified shall be Simpson Strong-Tie Co. (or equal) installed per manufacturer's specifications, unc.
b) Structural steel shall conform to ASTM A36, unc. Pipe columns shall conform to ASTM A53, Type E or 5, unc. Tube sections shall conform to ASTM 500, Grade B, unc.
c) All welding shall conform to the American Welding Society specifications. All welding shall be done by welders certified by the local building authority. All shop welding shall be in an approved fabricator shop authorized by the local building authority or special inspection per the IBC shall be provided. All field welding shall require special inspection per IBC Section 1701.

7. TRUSSES

- a) All prefabricated trusses shall be fabricated by a code approved manufacturer. The manufacturer shall be responsible for the design and certification of the trusses.
b) It is the responsibility of the manufacturer to conform the truss design according to the loading conditions as called for in these calculations, such as (1) live and dead loads; (2) truss spacing; (3) spans and eave overhangs; (4) roof pitch; (5) bearing points; and (6) drag loads.
c) Truss manufacturer shall supply to the Engineer calculations and shop drawings for approval prior to fabrication.
d) All calculations and shop drawings shall be signed by a registered engineer in the state in which the structure is being built.

SHEAR WALL SCHEDULE

Table with columns: SYMBOL, SHEAR FLY, EDGE NAIL SPACING, 1/2d NAIL SPACING, 3x P.T. MUDSILL AND FRAMING MEMBERS # ALL ABUTTING PANEL EDGES. Rows include various symbols and specifications for shear fly and edge nail spacing.

- Use Minimum 3/8" APA Rated Shear Fly / O6B or Rated Equivalent UNO.
- Use Common Nails And Field Nail # 12" o.c. UNO.
- Nail All Shear Plywood With Edge Nail Spacing # Top, Mud Sill, All Posts, All King Studs, Sole Plates, # All Studs With Holdowns.
- Double Shear Walls To Have Shear Ply With Specified Nailing Both Sides. Offset Plywood Edges Or Provide 3x Studs At Location Where Edge Nailing Is Located On Both Sides Of Wall Stud.

PIER SCHEDULE

Table with columns: SYMBOL, WIDTH, DEPTH, STEEL. Rows include symbols 12 through 60 and their corresponding dimensions and steel specifications.

PERIMETER FOOTING SCHEDULE

Table with columns: SYMBOL, WIDTH, DEPTH, FOOTING STEEL, STEEL WALL. Rows include symbols 12, 16, 18, 16a, 16b and their corresponding dimensions and steel specifications.

STEM WALL

- 8" Wide w/ (1) #4 Cont. # Top, UNO. Provide #4 Verticals # 48" o.c. Hook # Footing (Alternate Hooks). Provide #4 Vert. # 32" o.c. 4 #4 Horiz. # 24" o.c. at CHU Stemwalls.
- If Stemwall Exceeds 28' Above Top Of Footing, Use #4 # 18" o.c. Horizontal Cont. and #4 # 18" o.c. Vert. UNO. Stemwalls 36' and Greater Shall be Designed as Retaining Walls.
- All Footings Shall Bear On Undisturbed Soil. Assumed Soil Bearing Pressure Is Determined # Increased In Accordance w/ IBC Table 1804.2.

ABBREVIATIONS

Table listing abbreviations for various construction materials and components, such as FTG (Footing), AB (Anchor Bolt), BM (Beam), BRG (Bearing), etc.

HOLDOWN SCHEDULE

Table with columns: SYMBOL, CL, MIN. THICKNESS, STUD BOLTS, FOR THREADED-ROD ANCHOR # EMBEDMENT, #S&B BOLT (MONOPOUR/EMBEDMENT), #S&B BOLT (EMBEDMENT). Rows include symbols 7 through 61A and their corresponding specifications.

HOLDOWN INFORMATION

- All Holdowns To Be Installed Per Manufacturers Specifications.
- All Holdown Anchor Bolts Shall Be Specified Per Plan And Shall Meet Manufacturers Minimum Installation Requirements.
- All Holdowns To Be Bolted, Nailed, Or Screwed To (7) Studs Min. UNO. Above.
- All Threaded Rod Options To Be Tied To (1) #4 Vertical - (2) #4 Vertical For HD10A Or HDQ8 # Greater, Developed Into Ring w/ 30" Bend. Provide (1) #4 Horizontal # Top of Stemwall # All HD Anchor Bolts.

HOLDOWN SPECIFICATION TABLE

Table with columns: H. DOWN, CL, MIN. THICKNESS, STUD BOLTS, FOR THREADED-ROD ANCHOR # EMBEDMENT, #S&B BOLT (MONOPOUR/EMBEDMENT), #S&B BOLT (EMBEDMENT). Rows include specifications for various holdown types like HDU2-SDS2.5, HDU4-SDS2.5, etc.

DESIGN CRITERIA

- SNOW, WIND, & SEISMIC DESIGN FACTORS
Site Elevation: VALLEY FL. Design Wind Speed: 105 mph. Seismic Design Category: D.
Ground Snow Load: 30 PSF. Exposure: C. Seismic Base Shear: .134 W.
ROOF FRAMING DESIGN LOADS
Truss Loading: Truss Spacing = 24' o.c.
T.C. LIVE LOAD = 30 PSF. Rafter Loading:
T.C. DEAD LOAD = 10 PSF. LIVE/SNOW LOAD = 30 PSF.
B.C. DEAD LOAD = 10 PSF. DEAD LOAD = 15 PSF.
TOTAL LOAD = 50 PSF. TOTAL LOAD = 45 PSF.

ROOF PLYWOOD

- 1 / 2" CDX APA Rated ( 32 / 16 ) Or O6B Equivalent-Apply Face Grain Perpendicular To Framing, Stagger Panels And Nail w/ 8d Common Per IBC Table 2306.3.1, unc. Edge Nail At Supported Edges, Gable Ends, And Frieze Blocks.

TOP > SPLICES

- Use ( 1 ) led Nails At All Top, Splices (48" Long), UNO.

HEADER FRAMING

- Use 6x6 DF, # Typical Header, UNO. Use (2) Trimmers # Openings 5'-0" And Greater.

WALL FRAMING

- Use 2 x 6 DF, # # 6' o.c. (UNO)

FLOOR FRAMING DESIGN LOADS

- Floor Live Load = 40 PSF. Floor and Deck Dead Load = 15 PSF. Total Floor Load = 55 PSF. Assumed Soil Bearing Pressure (IBC Table 1804.2) = 2000 PSF.

FLOOR PLYWOOD

- Provide 3 / 4" T&G APA Rated Plywood (Or Oriented Strand Board). Apply Face Grain Perpendicular To Framing Members. Stagger Panels # Nail w/ 8d At 6' o.c. At All Edges And Boundaries (Blocking At Interior Shear Walls, Drag Members, etc.) And 10' o.c. In The Field, UNO.

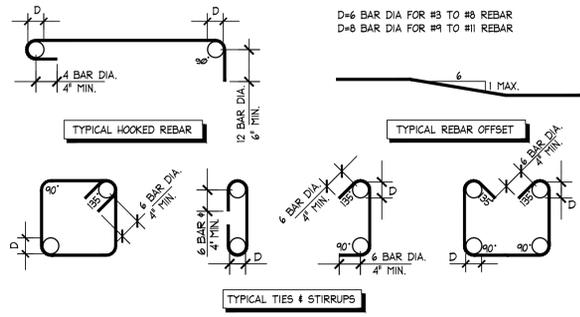
FLOOR JOISTS

- Use DF # 2 As Per IBC Table 2306.8. Use Truss Joist MacMillan I-Joists (TJI) Or Approved Equal As Specified On The Plans. I-Joists Shall Be Installed Per Manufacturers Specifications.

Vertical sidebar containing project information: FINCH CONSTRUCTION COMPANY INC, LICENSE #80723, EXPIRES 12/31/2019, PH: (775) 671-7175, SARA P FINCH, President, 1864 PAINTED DESERT DRIVE, MINDEN, NEVADA 89423. Also includes CLASSROOM ADDITION FOR DISCOVERIES PRESCHOOL and STRUCTURAL SPECIFICATIONS.



Table with columns: JOB #, CHECKED BY, DATE. Values include RV and 4/27/18.

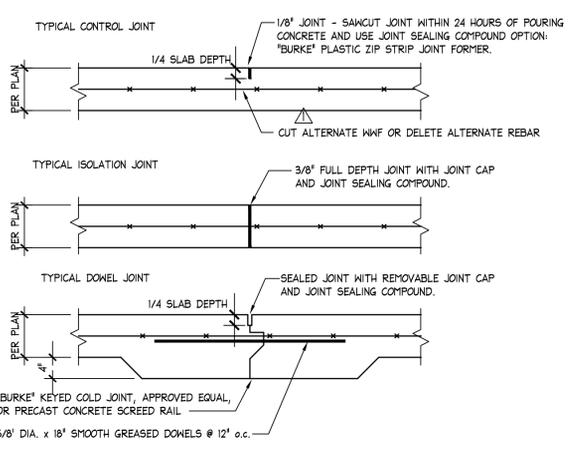


MINIMUM LAP LENGTHS @ REBAR SPLICES (F<sub>c</sub>=3000 PSI MIN.)

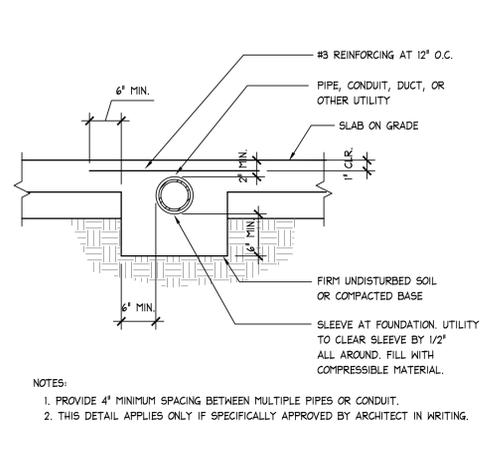
SIZE OF REINFORCEMENT	#3	#4	#5	#6	#7	#8	#9	#10	#11
CONCRETE	21"	30"	46"	65"	84"	117"	148"	186"	
CMU-SINGLE CURTAIN OF REINFORCEMENT (SEE NOTE 1)									
TYPICAL	15"	20"	25"	30"	35"	40"	-	-	-
w/ SPLICE @ MIDHEIGHT OR SPAN	23"	30"	38"	45"	53"	60"	-	-	-
CMU-DOUBLE CURTAIN OF REINFORCEMENT (SEE NOTE 2)									
TYPICAL	20"	26"	33"	39"	46"	52"	-	-	-
w/ SPLICE @ MIDHEIGHT OR SPAN	30"	39"	50"	59"	69"	78"	-	-	-

NOTE 1: USE FOR SINGLE CURTAIN CONCRETE OR DBL. CURTAIN REINFORCEMENT WITH SPLICES STAGGERED 24".  
NOTE 2: USE FOR (2) OR MORE BARS SPACED 3" OR CLOSER TOGETHER. IF SPLICES ARE STAGGERED USE SINGLE CURTAIN LAP LENGTHS.

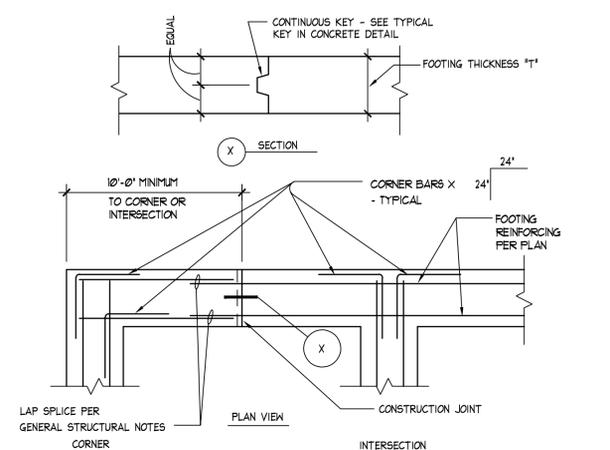
1 REBAR CONFIGURATION AND LAPS SCALE: 1 1/2" = 1'-0"



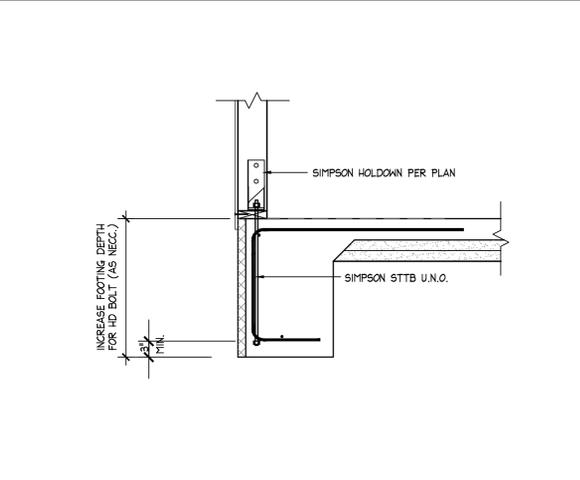
2 TYPICAL CONCRETE SLAB JOINTS SCALE: 1 1/2" = 1'-0"



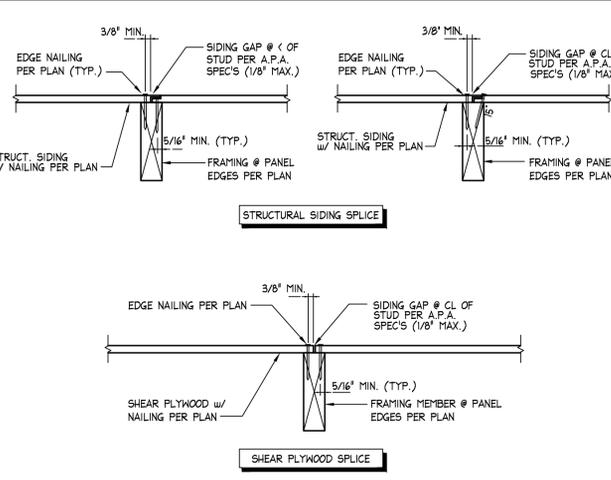
3 SLEEVE FOR UTILITY BELOW SLAB SCALE: 3/4" = 1'-0"



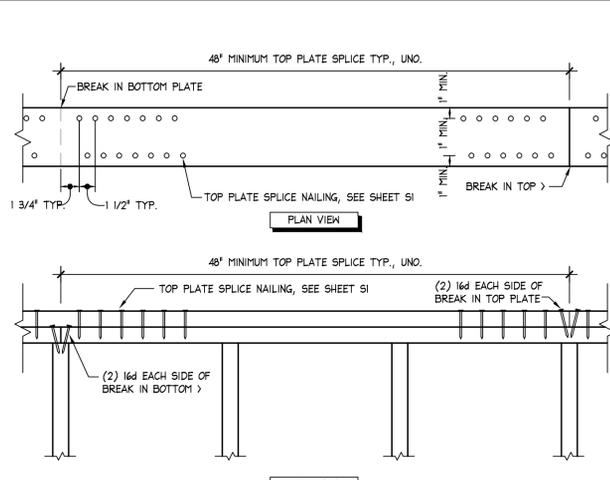
4 TYP. CORNER REIN. AND CONST. JOINTS IN CONCRETE FOOTINGS SCALE: N.T.S.



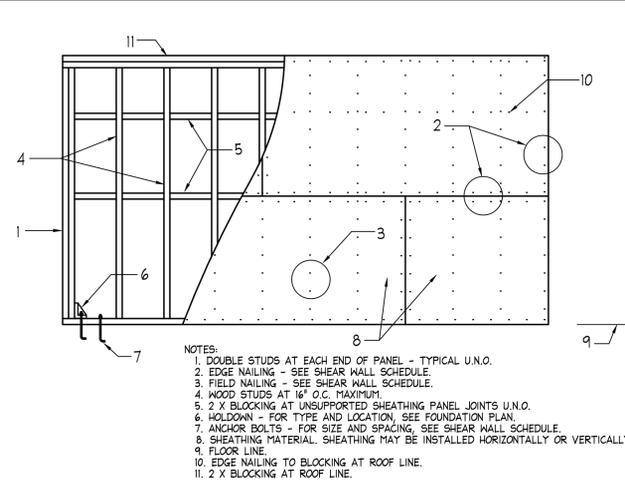
5 SIMPSON HD HOLDOWN SCALE: 3/4" = 1'-0"



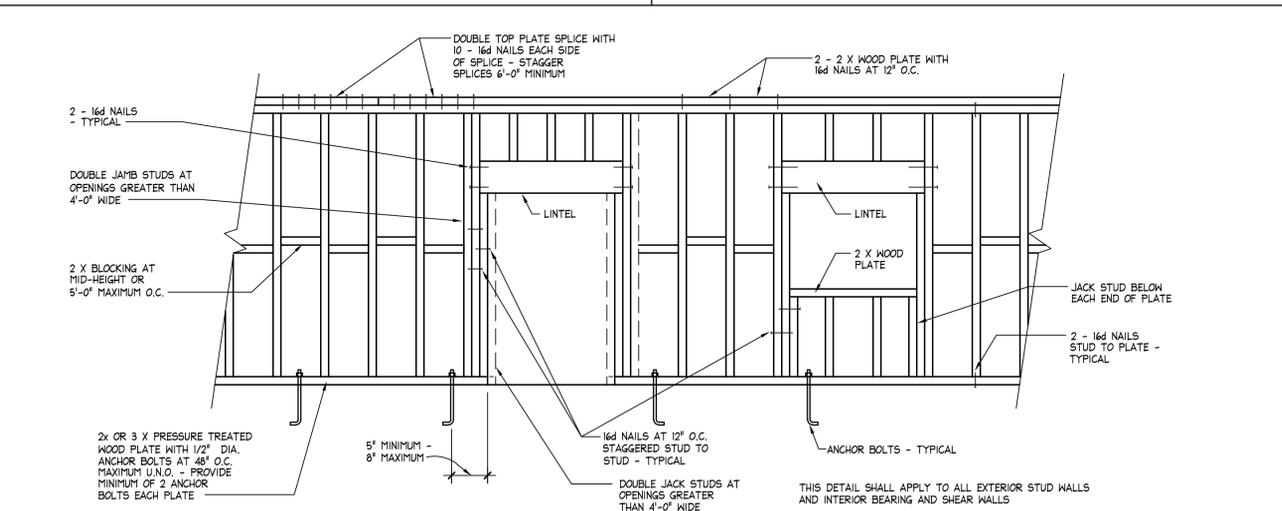
6 TYPICAL SPLICE @ SHEAR PANELS SCALE: N.T.S.



7 TYPICAL TOP PLATE SPLICE SCALE: 1 1/2" = 1'-0"



8 EXTERIOR WOOD STUD BRACE WALL ELEVATION (ONE STORY) SCALE: N.T.S.



9 TYP. WOOD STUD WALL FRAMING BRACE WALL ELEVATION (ONE STORY) SCALE: N.T.S.

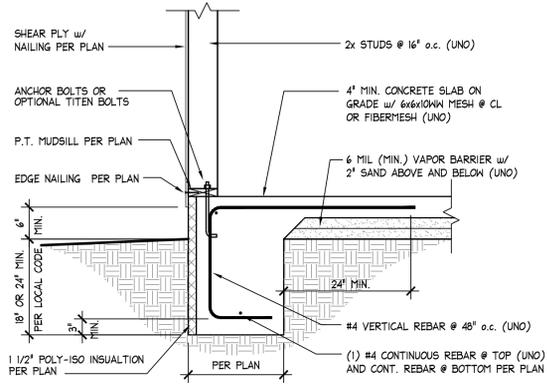
THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.390 FOR WORK UNDER THE CONTRACTORS LICENSE ON BEHALF OF AN AUTHORIZED UNDER WRITING ENGINEER. I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS. MY SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

QUALIFIED INDIVIDUAL DATE

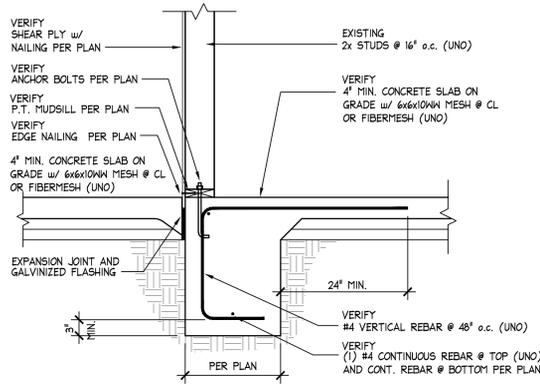
FINCH CONSTRUCTION COMPANY INC  
LICENSE #80723  
EXPIRES 12/31/2019  
PH: (775) 871-7175  
SARA P FINCH, President  
1866 PAINTED DESERT DRIVE  
MINDEN, NEVADA 89423

CLASSROOM ADDITION for DISCOVERIES PRESCHOOL  
253 EGYPTIAN DRIVE - SPANISH LN 89441  
STANDARD DETAILS  
PARCEL 1 OF PARCEL MAP #6207 FOR LEPORI CHILD CARE CENTER, FILES B/2692 AS DOC #1598945 APN: 088-032-08

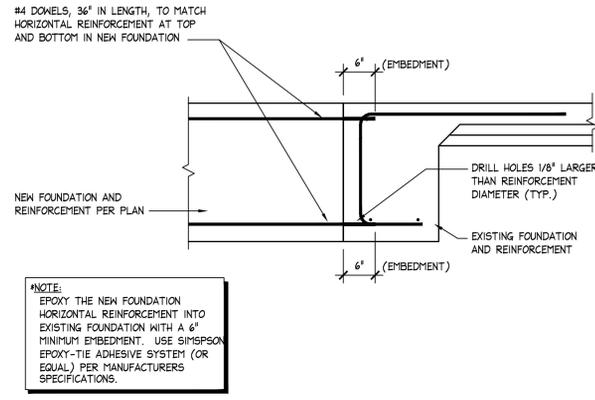
REVISIONS:  
SHEET: **S2**  
JOB #:  
CHECKED BY: RV  
DATE: 4/27/18



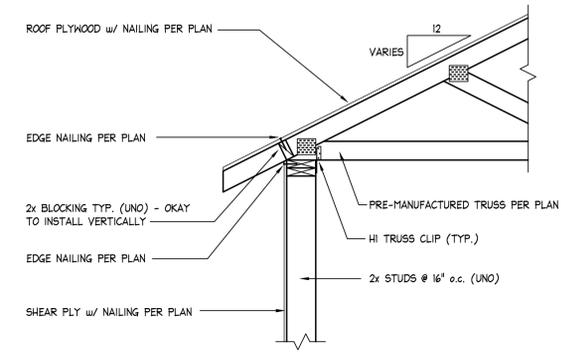
**1 TYPICAL MONOLITHIC FOOTING**  
 FND 005A SCALE: 3/4" = 1'-0"



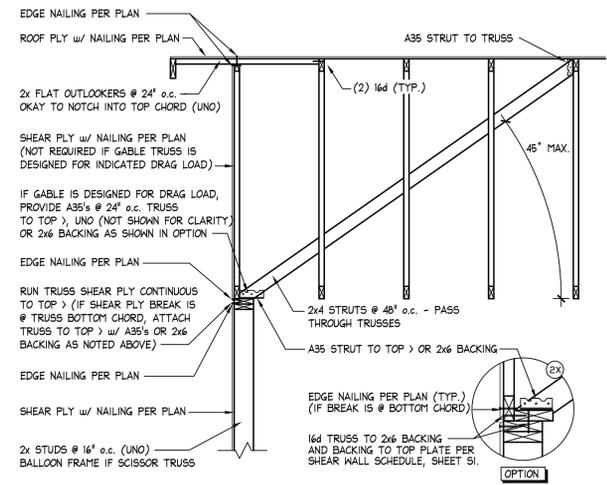
**2 TYPICAL MONOLITHIC FOOTING @ SLAB**  
 FND 005C SCALE: 3/4" = 1'-0"



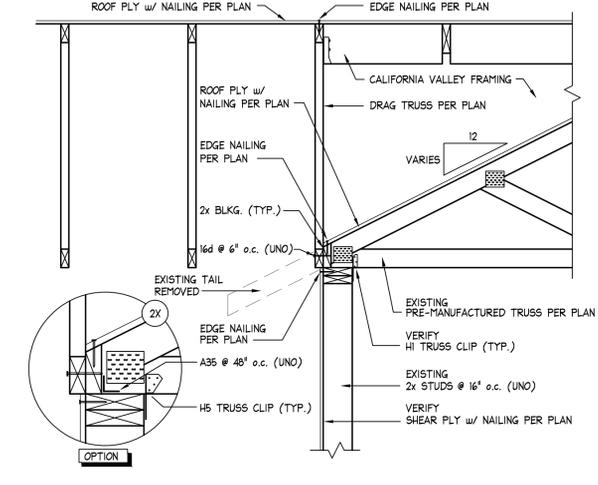
**3 FOUNDATION DOWEL DETAIL**  
 FND 010A SCALE: 3/4" = 1'-0"



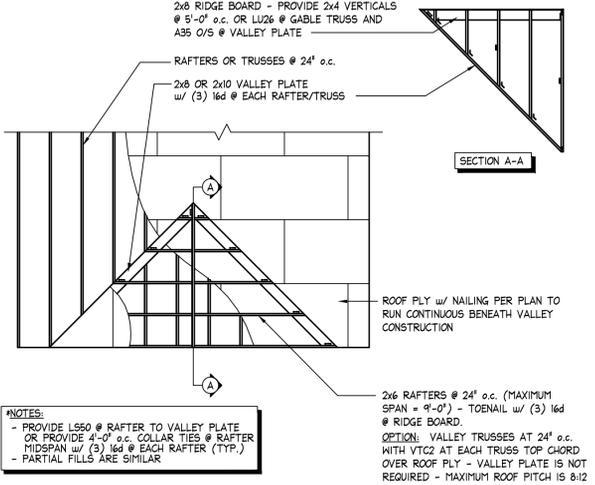
**4 TRUSS TO TOP PLATE CONNECTION**  
 RFP 001 SCALE: 3/4" = 1'-0"



**5 GABLE TRUSS TO TOP PL CONNECTION**  
 RFP 002 SCALE: 1/2" = 1'-0"



**6 DRAG TRUSS TO TOP PL CONNECTION**  
 RFP 004 SCALE: 3/4" = 1'-0"



**7 CALIFORNIA VALLEY (LOW SNOW LOAD)**  
 RFP 005 SCALE: 3/16" = 1'-0"

THESE PLANS ARE PROVIDED AND SUBMITTED BY THE CONTRACTOR AS AN EXEMPTION TO NRS CHAPTER 623 LISTED IN SECTION 623.230 FOR WORK UNDER NRS 624. LICENSE CATEGORY AUTHORIZED UNDER NRS 624. I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS OTHER THAN THE STRUCTURAL DESIGN PERFORMED BY THE ENGINEER WHOSE SEAL AND SIGNATURE APPEARS ON APPLICABLE PAGES.

**FINCH CONSTRUCTION COMPANY INC**  
 SARA P FINCH, President  
 LICENSE #80723  
 EXPIRES 12/31/2019  
 1864 PAINTED DESERT DRIVE  
 MINDEN, NEVADA 89423  
 PH: (775) 671-7175

**CLASSROOM ADDITION for DISCOVERIES PRESCHOOL**  
 253 EGYPTIAN DRIVE, SPINGO, NV 89411  
**STANDARD DETAILS**  
 PARCEL 1 OF PARCEL MAP #2027 FOR RUDOLPH PLUMBING, LLC  
 LEPPORI CHILD CARE CENTER, 20892 AS DOC #1599945  
 APN: 089-432-08

REVISIONS:  
 SHEET: **S3**  
 JOB #:  
 CHECKED BY: RV  
 DATE: 4/27/18